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Revision Number	DATE	ISSUE DESCRIPTION
	09/03/2026	PERMIT SET

Project	
WHITECOTTON COTTAGE REHABILITATION	
15400 FOOTHILL BLVD SAN LEANDRO, CA 94578	

Architect of Record	Consultant
	PAGE & TURNBULL 170 MAIDEN LANE, 5TH FLOOR SAN FRANCISCO, CA

	Drawing Title SHEET INDEX
	Drawing No. G0.11

SKA Project Number: 25001

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L	1. THE DRAWINGS AND PROJECT MANUAL, INCLUDING THE SPECIFICATIONS, ARE THE COPYRIGHTED PROPERTY OF PAGE & TURNBULL AND ARE NOT TO BE USED FOR ANY PURPOSE OTHER THAN THE PROJECT SHOWN HEREIN. NO CHANGES ARE TO BE MADE WITHOUT THE KNOWLEDGE OR CONSENT OF THE ARCHITECT OR ENGINEER WHOSE SIGNATURE APPEARS HEREON. 2. ARCHITECT HAS PREPARED THESE DOCUMENTS ONLY FOR THE IMPROVEMENTS SPECIFIED, DETAILED, AND INDICATED AND ASSUMES NO RESPONSIBILITY FOR THE CONSTRUCTION, MATERIAL, OR EQUIPMENT NOTED, INDICATED, OR SHOWN AS "PROVIDED BY OTHERS". 3. THIS CONSTRUCTION CONTRACT IS FOR THE CONSTRUCTION OF A COMPLETE AND FULLY FUNCTIONING INSTALLATION. THESE DOCUMENTS DESCRIBE THE DESIGN INTENT AND SPECIFIC REQUIREMENTS OF THE INSTALLATION. THESE DOCUMENTS DO NOT INTEND TO SHOW EVERY ITEM REQUIRED TO CONSTRUCT THE WORK. ITEMS SUCH AS FASTENERS, CONNECTORS, FILLERS, MISCELLANEOUS CLOSURE ELEMENTS, ANCILLARY CONTROL WIRING AND POWER WHERE REQUIRED FOR THE CONTROL OR OPERATION OF THE PROVIDED EQUIPMENT ARE NOT ALWAYS SHOWN BUT ARE CONSIDERED INCLUDED IN THE SCOPE OF THE WORK. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO PROVIDE A FULLY FUNCTIONING INSTALLATION WHICH MEETS THE DESIGN INTENT, INCLUDING THE SPECIFIC REQUIREMENTS INCLUDED IN THESE DOCUMENTS. 4. ALL ITEMS SHOWN IN THESE DOCUMENTS ARE NEW UNLESS OTHERWISE NOTED. 5. THE INTENT OF THE DRAWINGS AND SPECIFICATIONS IS TO CONSTRUCT THE WORK IN CONFORMANCE WITH CALIFORNIA CODE OF REGULATIONS TITLE 24, AND ALL OTHER APPLICABLE LOCAL, COUNTY, STATE, AND FEDERAL CODES, LAWS, AND ORDINANCES. NOTHING IN THE CONTRACT DOCUMENTS IS TO BE CONSTRUED AS PERMITTING WORK NOT CONFORMING TO THESE CODES, LAWS, ORDINANCES AND REGULATIONS. SHOULD ANY CONDITION DEVELOP WHICH IS NOT COVERED BY THE CONTRACT DOCUMENTS, WHEREIN FINISHED WORK WILL NOT COMPLY WITH THE AFOREMENTIONED REGULATIONS, A CHANGE ORDER DETAILING AND SPECIFYING THE REQUIRED WORK SHALL SUBMITTED TO AND APPROVED BY THE AGENCY HAVING JURISDICTION BEFORE PROCEEDING WITH THE WORK. 6. ALL PRODUCTS SHALL BE INSTALLED IN COMPLIANCE WITH THEIR MANUFACTURER'S LISTED REQUIREMENTS, RECOMMENDATIONS AND IN STRICT COMPLIANCE WITH APPROVED LABORATORY TEST REPORTS (I.E. ICC-ES REPORTS, N.E.R., F.A., ETC.). INSTALLATION SHALL MEET ALL REQUIREMENTS NECESSARY TO MAINTAIN PRODUCT GUARANTEE AND WARRANTIES. FAILURE TO SATISFY MANUFACTURER'S INSTALLATION REQUIREMENTS WILL CONSTITUTE THE GENERAL CONTRACTOR'S AND SUB-CONTRACTOR'S ACCEPTANCE OF PRODUCT GUARANTEE OR WARRANTY LIABILITIES 7. COORDINATION: A. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND THE SUBCONTRACTORS TO REVIEW ALL DRAWINGS, PROJECT MANUAL, ETC. IN ORDER TO ENSURE THE COORDINATION OF ALL WORK AFFECTING EACH TRADE. FAILURE TO REVIEW AND COORDINATE THE DRAWINGS AND PROJECT MANUAL BY THE GENERAL CONTRACTOR WITH ALL THE SUBCONTRACTORS SHALL NOT RELIEVE THE RESPONSIBLE PARTY FROM PERFORMING ALL WORK SO REQUIRED AS PART OF THE CONTRACT. B. THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL VISIT THE SITE IN ORDER TO FAMILIARIZE THEMSELVES WITH THE EXISTING CONDITIONS, VERIFY THE EXISTING CONDITIONS SHOWN ON THE DRAWINGS, AND CONFIRM THE IMPACT OF THE PROPOSED NEW WORK INDICATED ON THE DRAWINGS AND SPECIFICATIONS. ANY QUESTIONS REGARDING THE COORDINATION OF NEW WORK OR EXISTING CONDITIONS MUST BE SUBMITTED TO THE OWNER IN WRITING WITH ADEQUATE TIME FOR RESPONSE. C. REFER TO THE PROJECT MANUAL SPECIFICATIONS FOR GENERAL INFORMATION, PRODUCTS, AND EXECUTION REQUIREMENTS. REQUIREMENTS OF THE SPECIFICATIONS APPLY TO ALL ASPECTS OF THE WORK AND ARE COMPLEMENTARY TO THE INFORMATION SHOWN ON THE DRAWINGS. IF DISCREPANCIES EXIST BETWEEN THE SPECIFICATIONS AND DRAWINGS, THE MORE STRINGENT AND HIGHEST QUALITY & QUANTITY REQUIREMENTS SHALL PREVAIL. THE GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK D. THE GENERAL CONTRACTOR SHALL COORDINATE LAYOUT AS SHOWN ON THE CONSULTANT DRAWINGS WITH THOSE INDICATED ON THE ARCHITECTURAL DRAWINGS. ALL DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.				E. THE GENERAL CONTRACTOR SHALL COORDINATE THE DESIGN-BUILD WORK WITH THE WORK INDICATED ON THE ARCHITECTURAL AND ARCHITECT'S ENGINEERING & CONSULTANT DRAWINGS. F. THE GENERAL CONTRACTOR SHALL COORDINATE THE LOCATION OF ALL LIGHTS, MECHANICAL GRILLES, FIRE SPRINKLER HEADS, FIRE ALARM DEVICES, AND SMOKE DETECTORS BEFORE CONSTRUCTION BEGINS. G. IN THE EVENT THAT CERTAIN FEATURES OF THE CONSTRUCTION ARE NOT FULLY SHOWN ON THE CONSTRUCTION DOCUMENTS, THEN CONSTRUCTION SHALL BE OF THE SAME CHARACTER AS FOR SIMILAR CONDITIONS THAT ARE SHOWN. H. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL BONDS, CASH DEPOSITS, ETC. THAT THE CITY WILL REQUIRE TO FACILITATE CONSTRUCTION OF THE PROJECT. I. THE GENERAL CONTRACTOR SHALL OBTAIN AND PAY FOR ALL OTHER PERMITS REQUIRED BY LAW FOR THE EXECUTION OF THIS WORK UNLESS NOTED OTHERWISE. ALL SUBCONTRACTOR TRADE PERMITS, IF REQUIRED BY THE AGENCY HAVING JURISDICTION, AND FEES SHALL BE PAID BY THE GENERAL CONTRACTOR. J. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR PROVIDING OFF-SITE PARKING FOR CONSTRUCTION WORKERS. K. THE GENERAL CONTRACTOR SHALL OBTAIN AND PAY FOR CERTIFICATIONS, INSPECTIONS AND OTHER LEGAL FEES REQUIRED, BOTH PERMANENT AND TEMPORARY, INCLUDING PLUMBING, ELECTRICAL, AND HIGHWAY PERMITS UNLESS SPECIFICALLY PROVIDED OTHERWISE. L. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING WATER, SEWER, POWER, AND TELEPHONE CONNECTIONS TO THE CONSTRUCTION TRAILER. 8. DIMENSIONING: A. THESE DOCUMENTS HAVE BEEN PREPARED IN A 22" X 34" SHEET FORMAT. ALL SCALE REFERENCES ARE INDICATED ACCORDING TO THIS FORMAT. B. THE DRAWINGS SHALL NOT BE SCALED. THE GENERAL CONTRACTOR SHALL REFER TO THE DIMENSIONS INDICATED OR THE ACTUAL SIZES OF CONSTRUCTION ITEMS. WHERE NO DIMENSION OR METHOD OF DETERMINING A LOCATION IS GIVEN, VERIFY THE CORRECT DIMENSION OR LOCATION WITH THE ARCHITECT PRIOR TO INSTALLATION. C. ALL DIMENSIONS, ELEVATIONS, AND LAYOUTS SHALL BE CHECKED AND VERIFIED ON THE PROJECT SITE BY CONTRACTOR AND EACH TRADE BEFORE WORK BEGINS. CONFLICTS AND DISCREPANCIES SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION BEFORE CONSTRUCTION BEGINS. D. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATING DIMENSIONS BETWEEN THE WORK OF ALL SUBCONTRACTORS AND TRADES. E. STUD FRAMING DIMENSIONS: DIMENSIONS ARE TO FACE OF FINISH, UNLESS OTHERWISE NOTED. F. CONCRETE / MASONRY DIMENSIONS: DIMENSIONS ARE TO FACE OF CONCRETE OR FACE OF MASONRY, UNLESS OTHERWISE NOTED. G. SCHEDULED OPENING DIMENSIONS: THE LOCATION TO OPENINGS ARE DIMENSIONED TO THE CENTERLINE OF DOOR, WINDOW OR SCHEDULED OPENING, UNLESS OTHERWISE NOTED. H. ALL DIMENSIONS NOTED AS "CLR" ARE TO FACE OF FINISH. I. DATUM ELEVATIONS NOTED ON THE ARCHITECTURAL DRAWINGS FOR THIS PROJECT ARE ESTABLISHED RELATIVE TO ELEVATIONS ABOVE SEA LEVEL. SEE CIVIL ENGINEERING DRAWINGS FOR ADDITIONAL INFORMATION REGARDING PROJECT BENCHMARKS. 9. "TYP" INDICATES REPEAT WHEREVER THIS CONDITION OCCURS. 10. "SIM" INDICATES REPEAT AND MODIFY AS REQUIRED TO SUIT SITUATION. 11. DISSIMILAR METALS ARE TO BE ISOLATED FROM EACH OTHER WITH PLASTIC ISOLATORS OR OTHER MATERIALS TO PREVENT GALVANIC CORROSION. 12. JOINT SEALERS SHALL BE REQUIRED AT THE INTERSECTION OF ALL DISSIMILAR MATERIALS IN INTERIOR AND EXTERIOR CONDITIONS, U.O.N. GENERAL CONTRACTOR SHALL VERIFY AND INSTALL COMPATIBLE SEALANTS AND MATERIALS AT EACH SUCH CONDITION. 13. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO COORDINATE, FURNISH, AND INSTALL ALL FRAMING, BACKING, FURRING, AND BLOCKING REQUIRED FOR CASEWORK, GRAB BARS, EQUIPMENT, EXTERIOR CLADDING, AND MATERIALS INSTALLED IN THE BUILDING. GENERAL CONTRACTOR SHALL CONSIDER RELATED ACOUSTICAL AND FIRE RESISTIVE REQUIREMENTS TO ENSURE THAT THE DESIGN MAINTAINS CODE COMPLIANT RATINGS AND HAS INCLUDED ALL RELATED SCOPE REASONABLY INFERABLE WITHIN. 14. GENERAL CONTRACTOR SHALL FURNISH AND INSTALL ALL VENT FLASHING CAPS IN ACCORDANCE WITH INDUSTRY STANDARDS.	15. AT ALL ARCHITECTURAL, MECHANICAL, ELECTRICAL, PLUMBING, AND FIRE SPRINKLER PENETRATIONS OF THE BUILDING ENVELOPE (INCLUDING BUT NOT LIMITED TO EXTERIOR WINDOWS, GRILLES, VENTS, HVAC DUCTWORK, AND CONDUITS PENETRATING EXTERIOR WALLS, ROOF DECKS, AND VERTICAL ROOF WALLS), FLASHING SHALL BE FURNISHED AND INSTALLED TO TIE-IN TO THE BUILDING'S WATERPROOFING SYSTEM IN ORDER TO ENSURE WATERTIGHT CONDITIONS AT THESE LOCATIONS. THE USE OF FLASHING IS IN-ADDITION TO THE USE OF THE APPROPRIATE EXTERIOR SEALANT. 16. AT ALL EXTERIOR PARAPET (WALL, ROOF, BALCONY) INTERSECTIONS, EXTERIOR WALL-TO-PARAPET INTERSECTIONS, EXTERIOR FLOOR-TO-WALL INTERSECTIONS, AND EXTERIOR FLOOR-TO-BALCONY PARAPET INTERSECTIONS: FURNISH AND INSTALL A ONEPIECE, SOLDERED, WATERTIGHT G.S.M. SADDLE FLASHING THAT TIES-IN TO THE BUILDING'S WATERPROOFING SYSTEM. 17. RESIDENTIAL APPLIANCES –THIS EQUIPMENT IS TYPICALLY DELIVERED FACTORY DIRECT, AND MOUNTING & CONNECTIONS ARE NOT INCLUDED. GENERAL CONTRACTOR SHALL PROVIDE ALL NECESSARY MECHANICAL, PLUMBING, AND ELECTRICAL INFRASTRUCTURE, MOUNTING HARDWARE, AND ATTACHMENTS TO MAKE THE EQUIPMENT FUNCTION PROPERLY. GENERAL CONTRACTOR SHALL MOUNT AND MAKE ALL REQUIRED CONNECTIONS TO MAKE THE EQUIPMENT FUNCTION PROPERLY 18. ALL APPLIANCES DESIGNED TO BE FIXED IN POSITION SHALL BE SECURELY ANCHORED IN PLACE IN ACCORDANCE WITH MANUFACTURER'S INSTALLATION REQUIREMENTS AND CBC SECTION 303.4 19. BUILDING SHALL BE EQUIPPED WITH A PERMANENTLY INSTALLED EMERGENCY ACCESS KEY LOCK "KNOX BOX" FOR THE FIRE DEPARTMENT AT BOTH ENTRY DOORS. FINAL INSTALLATION LOCATION SHALL BE APPROVED BY THE CITY FIRE DEPARTMENT BEFORE INSTALLATION. AT THE TIME OF FINAL INSPECTION, ACCESS KEYS SHALL BE PROVIDED TO THE FIRE DEPARTMENT. 20. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO MEET ALL REQUIREMENTS OF "CONDITIONS OF APPROVAL" INDICATED ON THE RELEVANT G SHEETS OF THIS SET	12. APPROVED BUILDING ADDRESS NUMBERS, BUILDING NUMBERS SHALL BE PROVIDED AND MAINTAINED SO AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET FRONTING THE PROPERTY. THE NUMBERS SHALL CONTRAST THEIR BACKGROUND, ALPHABETIC LETTERS, AND BE A MINIMUM OF 4" HIGH WITH A MIN STROKE OF 0.5 INCHES PER FIRE CODE 505.1 13. AN APPROVED KEY BOX, LISTED IN ACCORDANCE WITH UL 1037, SHALL BE PROVIDED AS REQ'D BY FIRE CODE SECTION 506. THE LOCATION OF EACH KEY BOX SHALL BE DETERMINED BY THE FIRE INSPECTOR. 14. ELEVATORS SHALL COMPLY WITH THE REQUIREMENTS SET FORTH IN CBC CHAPTER 30. 15. ELEVATORS SHALL BE PROVIDED WITH PHASE I EMERGENCY RECALL OPERATIONS AND PHASE II EMERGENCY IN-CASR OPERATION IN ACCORDANCE WITH CALIFORNIA CODE OF REG. TITLE 8, DIVISION I, CHAPTER 4, SUBCHAPTER 6, ELEVATOR SAFETY ORDERS AND REQUIRED BY CBC 3003.2 16. ALL ELEVATORS SHALL BE EQUIPPED TO OPERATE A STANDARDIZED FIRE SERVICE ELEVATOR KEY IN ACCORDANCE WITH CFC SECTION 607.5 AND CBC 3003.3. 17. PROVIDE AN APPROVED AUTOMATIC SPRINKLER SYSTEM PER CBC SECTION 903 AND CFC SECTION 903. TYPE OF SPRINKLER SYSTEM AS SET FORTH IN CBC SECTION 903.3.1, 903.3.1.2, 903.3.1.3																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																

9. "TYP" INDICATES REPEAT WHEREVER THIS CONDITION OCCURS.

10. "SIM" INDICATES REPEAT AND MODIFY AS REQUIRED TO SUIT SITUATION.

11. DISSIMILAR METALS ARE TO BE ISOLATED FROM EACH OTHER WITH PLASTIC ISOLATORS OR OTHER MATERIALS TO PREVENT GALVANIC CORROSION.

12. JOINT SEALERS SHALL BE REQUIRED AT THE INTERSECTION OF ALL DISSIMILAR MATERIALS IN INTERIOR AND EXTERIOR CONDITIONS, U.O.N. GENERAL CONTRACTOR SHALL VERIFY AND INSTALL COMPATIBLE SEALANTS AND MATERIALS AT EACH SUCH CONDITION.

13. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO COORDINATE, FURNISH, AND INSTALL ALL FRAMING, BACKING, FURRING, AND BLOCKING REQUIRED FOR CASEWORK, GRAB BARS, EQUIPMENT, EXTERIOR CLADDING, AND MATERIALS INSTALLED IN THE BUILDING. GENERAL CONTRACTOR SHALL CONSIDER RELATED ACOUSTICAL AND FIRE RESISTIVE REQUIREMENTS TO ENSURE THAT THE DESIGN MAINTAINS CODE COMPLIANT RATINGS AND HAS INCLUDED ALL RELATED SCOPE REASONABLY INFERABLE WITHIN.

14. GENERAL CONTRACTOR SHALL FURNISH AND INSTALL ALL VENT FLASHING CAPS IN ACCORDANCE WITH INDUSTRY STANDARDS.



ALAMEDA COUNTY

NOTE: If this drawing is not 22"x34" it has been revised from its original size and the scales noted on drawing/details are no longer applicable.

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Revision Number	DATE	ISSUE DESCRIPTION
	09/03/2026	PERMIT SET

Project

WHITECOTTON COTTAGE REHABILITATION

15400 FOOTHILL BLVD
SAN LEANDRO, CA 94578

Architect of Record

Consultant

PAGE & TURNBULL
170 MAIDEN LANE, 5TH FLOOR
SAN FRANCISCO, CA

Drawing Title

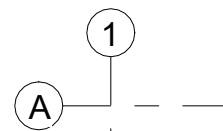
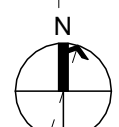
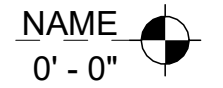
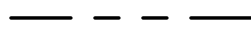
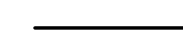
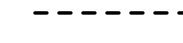
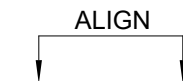
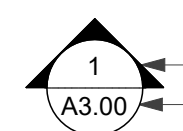
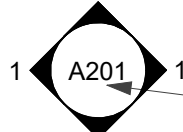
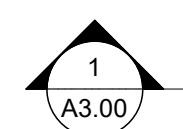
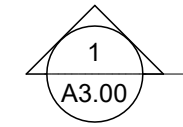
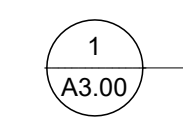
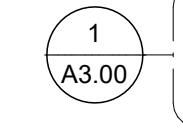
GENERAL NOTES & FIRE DEPARTMENT NOTES

Drawing No.

G0.31

SKA Project Number: 25001

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M	HISTORIC SIGNIFICANCE 1. WHITECOTTON COTTAGE, ALSO KNOWN AS THE SUPERINTENDENT'S RESIDENCE, WAS EVALUATED FOR LISTING ON THE CALIFORNIA REGISTER OF HISTORICAL RESOURCES (CRHR) IN 2001, AND WAS DETERMINED TO BE LOCALLY SIGNIFICANT UNDER CRITERION 1 FOR ITS ASSOCIATION WITH THE ORIGINAL ALAMEDA COUNTY INFIRMARY AND FAIRMONT HOSPITAL; AND UNDER CRITERION 3 AS AN EXCELLENT LOCAL EXAMPLE OF SHINGLE STYLE ARCHITECTURE. 2. IN 2008, THE PROPERTY WAS EVALUATED FOR LISTING ON THE NATIONAL REGISTER OF HISTORIC PLACES (NRHP) AND FOUND IT LOCALLY SIGNIFICANT UNDER CRITERION A FOR ITS ASSOCIATION WITH THE MANAGEMENT CHANGES AT THE FAIRMONT HOSPITAL; UNDER CRITERION B FOR ITS ASSOCIATION WITH THE ALAMEDA COUNTY MAIN HOSPITAL'S MANAGERS; AND UNDER CRITERION C AS AN EXAMPLE OF SHINGLE STYLE RESIDENTIAL ARCHITECTURE, WITH QUEEN ANNE AND BAY AREA SHINGLE INFLUENCES. 3. A 2018 REPORT SUMMARIZED THE 2001 FINDINGS, AND INCLUDED AN UPDATED ASSESSMENT OF INTEGRITY, CONSIDERING THE MODIFICATIONS AND DETERIORATION THAT HAD SINCE OCCURRED TO THE BUILDING. THE REPORT FOUND THAT THE HISTORIC INTEGRITY HAD DRASTICALLY DIMINISHED AND THE COTTAGE NO LONGER WAS ABLE TO CONVEY ITS SIGNIFICANCE TO MEET CRITERION 3 FOR THE CRHR. 4. IN 2024, THE WHITECOTTON COTTAGE WAS ADDED TO THE ALAMEDA COUNTY REGISTER OF HISTORIC RESOURCES AS A LANDMARK PURSUANT TO ORDINANCE NUMBER O-2024-16. THIS WAS ADOPTED BY MAJORITY VOTE OF THE ALAMEDA COUNTY BOARD OF SUPERVISORS ON MAY 9, 2024. 5. A 2026 SECRETARY OF THE INTERIOR'S STANDARDS COMPLIANCE REVIEW FOR THE SCOPE INDICATED IN THIS DESIGN SET FOUND THAT THE PROPERTY RETAINS SUFFICIENT INTEGRITY TO CONVEY SIGNIFICANCE UNDER ALL THREE IDENTIFIED CRITERIA, INCLUDING CRITERION C/3. THIS REVIEW INCLUDES A CATALOG OF SURVIVING CHARACTER-DEFINING FEATURES. 6. COPIES OF THESE REPORTS ARE AVAILABLE FROM THE OWNER. 7. AS A HISTORIC BUILDING, WHITECOTTON COTTAGE IS ELIGIBLE TO USE THE CALIFORNIA HISTORIC BUILDING CODE. THIS PROJECT IS EXPLICITLY USING THE HISTORIC BUILDING CODE FOR AN EXISTING STAIR GUARDRAIL AND LANDING THAT DO NOT MEET THE REQUIREMENTS OF THE REGULAR CODE. THE GUARDRAIL WAS PRE-APPROVED TO REMAIN AT ITS 33" HEIGHT OVER EMAIL BY ALAN TAM, BUILDING OFFICIAL WITH ALAMEDA COUNTY PUBLIC WORKS, ON 6/2/2026. HE ALSO NOTED THAT THE EXISTING 78" CLR HEAD HEIGHT AT THE LANDING WOULD BE AN ACCEPTABLE EXISTING CONDITION TO REMAIN AS-IS. THE RELEVANT CORRESPONDENCE IS ATTACHED TO THIS SUBMITTAL.				HISTORIC PRESERVATION NOTES 1. HISTORIC PRESERVATION - GENERAL NOTES A. THE WORK OF THIS PROJECT SHALL COMPLY WITH THE SECRETARY OF THE INTERIOR'S STANDARDS FOR REHABILITATION (SOI STANDARDS) AND ASSOCIATED GUIDELINES FOR REHABILITATING HISTORIC BUILDINGS (SOI GUIDELINES). B. CONSULT WITH THE HISTORIC PRESERVATION ARCHITECT, ARCHITECT AND OWNER IF CLARIFICATION IS NEEDED ON APPROPRIATE TREATMENTS TO HISTORIC FEATURES. C. ASSIGN DISMANTLING, REMOVAL, AND SALVAGE WORK TO QUALIFIED SUBCONTRACTORS WITH SUPERVISION BY SPECIALISTS WITH HISTORIC PRESERVATION EXPERIENCE. D. DISASSEMBLE, REMOVE AND SALVAGE INTERIOR ELEMENTS AS INDICATED IN CONSTRUCTION DOCUMENTS. SALVAGE OF MATERIALS REQUIRES ITEMS TO BE SECURED INTACT, NUMBERED & DOCUMENTED IN AN INVENTORY, CLEANED, PROTECTED, STORED AND DELIVERED TO THE OWNER OR REINSTALLED IN THE PROJECT. E. BUILDING CONDITIONS AND DIMENSIONS ARE BASED UPON BASE DRAWINGS PROVIDED BY OTHERS AND LIMITED FIELD OBSERVATIONS. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND OWNER'S REPRESENTATIVE, FOR WRITTEN RESOLUTION BEFORE PROCEEDING WITH THAT PORTION OF THE WORK. F. PROTECT THE PROJECT HISTORIC FINISHES FROM DAMAGE WHICH MAY OCCUR FROM RELOCATION, CONSTRUCTION, DEMOLITION, DUST, WATER, ETC. PROTECTION OF INTERIOR HISTORIC FEATURES SHALL REMAIN IN-PLACE THROUGHOUT CONSTRUCTION. THIS INCLUDES, BUT IS NOT LIMITED TO, PROTECTION OF THE FIREPLACE FINISH MASONRY AND HISTORIC WINDOW SASH. G. AT NO ADDITIONAL EXPENSE TO THE OWNER, REPAIR OR REPLACE INADVERTENT DAMAGE TO HISTORIC MATERIALS, FINISHES, STRUCTURES, AND EQUIPMENT, TO THE SATISFACTION OF THE OWNER. ALL REPAIRS AND REPLACEMENTS SHALL MATCH THE ORIGINAL IN-KIND. H. PERFORM CUTTING AND REMOVAL WORK TO MINIMIZE THE AMOUNT OF HISTORIC MATERIAL REMOVED, AND IN A MANNER TO AVOID DAMAGE. I. MISCELLANEOUS FOUND ITEMS - WHERE ITEMS ARE UNCOVERED IN THE WORK THAT HAVE THE POTENTIAL TO BE HISTORIC FEATURES NOTIFY PRESERVATION ARCHITECT, ARCHITECT, AND OWNER TO RECEIVE INSTRUCTIONS ON APPROPRIATE TREATMENT. J. ANY DISTURBANCE OF LEAD-BASED PAINT WILL REQUIRE COMPLIANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL REGULATIONS.				HISTORIC PRESERVATION NOTES 2. HISTORIC PRESERVATION – TEMPORARY PROTECTION A. THE PURPOSE OF TEMPORARY PROTECTION MEASURES IS TO PREVENT AND AVOID DAMAGE TO HISTORIC STRUCTURES, ARTIFACTS, AND MATERIALS. TEMPORARY PROTECTION MEASURES SHALL BE INSTALLED PRIOR TO CONSTRUCTION AND REMOVED AFTER CONSTRUCTION HAS BEEN COMPLETED. B. PROTECT IN PLACE 1. ACCEPTABLE PROTECTION MATERIALS INCLUDE, BUT ARE NOT LIMITED TO, THE FOLLOWING. a. PLYWOOD: PLYWOOD CONFORMING TO THE REQUIREMENTS OF US DEPARTMENT OF COMMERCE PRODUCT STANDARDS PS 1-19; CLEAN AND FREE OF MOLD, ALGAE, MILDEW, OR OTHER BIOLOGICAL GROWTH. b. DIMENSIONAL LUMBER: NOMINAL 2X, NOMINAL 1X1 NAILERS, FIRE-RETARDANT-TREATED; CLEAN AND FREE OF MOLD, ALGAE, MIL-DEW, OR OTHER BIOLOGICAL GROWTH. c. BUILDING PAPER: NON-ASPHALTIC ROSIN PAPER, FABRIC OR EQUAL, COMPATIBLE WITH FLOORING, WALL, OR CASEWORK SURFACE. d. POLYETHYLENE SHEET: REINFORCED, FIRE-RESISTIVE SHEET, 10-MIL MINIMUM THICKNESS, WITH FLAME-SPREAD RATING OF 15 OR LESS IN ACCORDANCE WITH ASTM E84 AND PASSING NFPA 701 TEST METHOD 2. e. NEOPRENE PADS, NON-STAINING, MINIMUM THICKNESS 1/4". f. FOAM WRAP: ACID-FREE, LOW-DENSITY POLYETHYLENE CLOSED-CELL FOAM. g. FOAM SANDWICH BOARD: POLYSTYRENE FOAM SANDWICHED BETWEEN VARIOUS LINERS, IN ACID-FREE FORM: FOME-COR, INTERNA-TIONALPAPER CO OR EQUAL. h. POLYESTER FILM: MYLAR D, E.I. DUPONT DE NEMOURS CO OR EQUAL. i. FIBERBOARD: FIRE-TREATED, UNFACED PANELS, 1/2" THICK. ACCEPTABLE PRODUCT: HOMASOTE NFCR OR EQUAL. j. FASTENERS: WOOD SCREWS, TYPE 302 STAINLESS STEEL k. DUST-CONTROL ADHESIVE-SURFACE WALK-OFF MATS: PROVIDE MATS, MINIMUM 36 BY 60 INCHES. 2. SUBMIT A WRITTEN, DETAILED DESCRIPTION OF MATERIALS, METHODS, EQUIPMENT, AND SEQUENCE OF OPERATIONS TO BE USED FOR PROTECTION OF HISTORIC MATERIALS AND FEATURES TO REMAIN PROTECTED IN PLACE. A. INCLUDE PRODUCT DATA INFORMATION FOR MATERIALS USED IN PROTECTING, PACKAGING, AND CRATING ITEMS.								CLIENT  ALAMEDA COUNTY				 ALAMEDA COUNTY																																										
NOTE: If this drawing is not 22"x34" it has been revised from its original size and the scales noted on drawing/details are no longer applicable. © 2022 Shah Kawasaki Architects <table><tr><td>Revision Number</td><td>DATE</td><td>ISSUE DESCRIPTION</td></tr><tr><td></td><td>09/03/2026</td><td>PERMIT SET</td></tr><tr><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td></tr></table> Project WHITECOTTON COTTAGE REHABILITATION 15400 FOOTHILL BLVD SAN LEANDRO, CA 94578																									Revision Number	DATE	ISSUE DESCRIPTION		09/03/2026	PERMIT SET																																	
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L											DEMOLISH: DETACH ITEMS FROM (E) CONSTRUCTION & LEGALLY DISPOSE OF THEM OFF-SITE, UNLESS INDICATED TO BE REMOVED & SALVAGED, OR REMOVED & REINSTALLED. SALVAGE: DETACH ITEMS FROM (E) CONSTRUCTION & PROVIDE THEM FOR OWNER'S USE SALVAGE, REPAIR & REINSTALL: DETACH ITEMS FROM (E) CONSTRUCTION, STORE & PROTECT AGAINST DAMAGE, PREPARE THEM FOR REUSE, & INSTALL WHERE INDICATED. RETAIN & PROTECT IN PLACE: RETAIN THE IDENTIFIED MATERIALS & ASSEMBLIES IN PLACE DURING CONSTRUCTION, & PROTECT SUCH MATERIAL & ASSEMBLIES AGAINST DAMAGE & DETERIORATION THROUGHOUT CONSTRUCTION. PROTECTION REQUIREMENTS INCLUDE THE INSTALLATION OF PHYSICAL BARRIERS TO PREVENT DAMAGE FROM CONSTRUCTION ACTIVITIES. BARRIER MATERIALS ARE TO BE INSTALLED WITHOUT ATTACHMENT TO THE MATERIALS & ASSEMBLIES REQUIRING PROTECTION. PREP, ENCAPSULATE, AND PAINT: RETAIN THE REFERENCED (E) MATERIAL. REMOVE CRACKED AND LOOSE PAINT AND PREPARE SURFACES FOR ENCAPSULATION. APPLY LEAD ENCAPSULATION COATING, APPLY FINISH PAINT. STRIP (E) PAINT: RETAIN THE REFERENCED (E) MATERIAL. UTILIZING CHEMICAL OR UV PAINT STRIPPERS, REMOVE (E) PAINT DOWN TO BARE WOOD SURFACE. ASSUME ALL ITEMS HAVE BEEN PAINTED WITH LEAD PAINT.						GRID LINE			PROJECT NORTH			ELEVATION DATUM			PROPERTY LINE			CENTER LINE			(E) WALL			DEMO WALL			PROPOSED WALL			ALIGN			REVISION NUMBER RFI NUMBER REVISION CLOUD			EXTERIOR ELEVATION DETAIL NUMBER SHEET			INTERIOR ELEVATION SHEET DETAIL NUMBER			BUILDING SECTION			WALL SECTION			SECTION DETAIL			PLAN DETAIL		<table><tr><td>FULL ROOM NAME</td></tr><tr><td>101</td></tr><tr><td>150 SF</td></tr></table>	FULL ROOM NAME	101	150 SF	ROOM TAG			KEYNOTE			WALL TYPE			DOOR TAG			WINDOW TAG			SMOKE DETECTOR			FLOOR DRAIN	
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Sandra Rivera
Agency Director

Albert Lopez
Planning Director

224 West Winton Ave
Room 111

Hayward, California
94544-1215

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ALAMEDA COUNTY COMMUNITY DEVELOPMENT AGENCY
PLANNING DEPARTMENT

AUGUST 14, 2026

Alameda County General Services Agency c/o Nivedita Gupta
224 W. Winton Avenue, Room 110
Hayward, CA 94544
Nivi.Gupta@acgov.org

SUBJECT: Approval of PLN2026-00092 – Certificate of Appropriateness for exterior modification related to the rehabilitation and reconstruction of Whitecotton Cottage 15400 Foothill Boulevard, Castro Valley

Dear Applicant,

I am pleased to inform you that your application for Certificate of Appropriateness for the Whitecotton Cottage, PLN2026-00092 (application, project, or COA), **has been approved.**

The Planning Department received the Certificate of Appropriateness application for the exterior modifications related to the rehabilitation and reconstruction of Whitecotton Cottage, located on the Fairmont Hospital campus at 15400 Foothill Boulevard in Castro Valley (APN: 80A-238-10) in the Historic Public Facilities (PF) zoning district. Staff conducted a review of the site plan drawings and supporting materials submitted by the applicant, in accordance with the Alameda County Zoning Code Chapter 17.62 – Historic Preservation Ordinance. The Parks, Recreation, and Historical Commission held a public hearing on August 6, 2026 for this application and approved a resolution recommending approval of the COA (Attachment A) based on the following findings pursuant to Section 17.62.190:

- A. All proposed alterations have been evaluated against the Secretary of the Interior's Standards for the Treatment of Historic Properties and the Secretary of the Interior's Standards for Rehabilitation and have been found consistent with those standards. The project also adheres to applicable provisions of the California Historical Building Code and Health and Safety Code.
- B. The proposed alterations will not destroy, obscure, or significantly adversely affect the integrity of the Whitecotton Cottage. Character defining features will be retained and preserved.

Conclusion:

Therefore, the Planning Department approves of PLN2026-00092, the Certificate of Appropriateness for Whitecotton Cottage, located on the Fairmont Hospital campus at 15400 Foothill Boulevard in Castro Valley with the following conditions of approval:

1. The original door located on the east elevation proposed for removal and infill shall be replaced with a blind door to match the original exterior appearance.
2. All alterations complying with the Secretary of the Interior's Standards for the Treatment of Historic Properties and the Secretary of the Interior's Standards (SOI) for Rehabilitation and Illustrated Guidelines for Rehabilitating Historic Buildings, and with the California Historical Building Code and the California Health and Safety Code Section 18950 et seq., as amended, and applied to the project by the building official.
3. The Certificate of Appropriateness associated with PLN2026-00092 shall terminate three

Attachment A

THE ALAMEDA COUNTY PARKS, RECREATION AND HISTORICAL COMMISSION

CERTIFICATE OF APPROPRIATENESS FOR THE EXTERIOR MODIFICATIONS
RELATED TO THE REHABILITATION OF WHITECOTTON COTTAGE

AUGUST 6, 2026

WHEREAS on January 10, 2012, the Alameda County Board of Supervisors adopted a Historic Preservation Ordinance (Chapter 17.62 of the Alameda County Code of Ordinances) which established guidelines to identify, protect, and encourage the preservation of significant architectural, historic, prehistoric and cultural structures, sites, resources and properties in unincorporated Alameda County; and

WHEREAS the Board of Supervisors voted to add the Whitecotton Cottage to the Alameda County Register of Historic Resources on May 9, 2024, with the designation of "landmark;" and

WHEREAS pursuant to Section 17.62.160 of the Historic Preservation Ordinance, any alteration of a landmark listed on the County Register requires a Certificate of Appropriateness from the Planning Director; and

WHEREAS the Parks, Recreation, and Historical Commission may review and make recommendations to the Planning Director regarding a filed Certificate of Appropriateness; and

WHEREAS on May 28, 2026, the Alameda County General Services Agency submitted an application for a Certificate of Appropriateness, PLN2026-00092 (application), to the county for the exterior modifications related to the rehabilitation of Whitecotton Cottage located at 15400 Foothill Boulevard on the Fairmont Hospital campus in Castro Valley, and bearing the Assessor Parcel Number (APN): 80A-238-10; and

WHEREAS the Alameda County Parks, Recreation, and Historical Commission held a duly noticed public hearing on August 6, 2026 and examined all submitted materials regarding the application; and

NOW, THEREFORE, BE IT RESOLVED that the Parks, Recreation, and Historical Commission has made the following findings relative to the Certificate of Appropriateness application, pursuant to Section 17.62.190 of the Historic Preservation Ordinance:

- A. All proposed alterations have been evaluated against the Secretary of the Interior's Standards for rehabilitation and have been found consistent with those standards. The project also adheres to applicable provisions of the California Historical Building Code and Health and Safety Code.
- B. The proposed alterations will not destroy, obscure, or significantly adversely affect the integrity of Whitecotton Cottage. Character defining features will be retained and preserved.

BE IT FURTHER RESOLVED that the Parks, Recreation, and Historical Commission did vote to recommend that the Planning Director approve a Certificate of Appropriateness for the exterior modifications related to the rehabilitation of Whitecotton Cottage subject to the following conditions:

1. The original door located on the east elevation proposed for removal and infill shall be replaced with a blind door to match the original exterior appearance.
2. All alterations complying with the Secretary of the Interior's Standards for the Treatment of Historic Properties and the Secretary of the Interior's Standards (SOI) for Rehabilitation and Illustrated Guidelines for Rehabilitating Historic Buildings, and with the California Historical Building Code and the California Health and Safety Code

AUGUST 14, 2026
PLN2026-00092 Approval Letter
Page 2 of 2

(3) years from the date of issuance unless a building permit has been obtained and exercised for the project or, if no building permit is required for the work, the work has physically commenced.

4. The plans submitted for the Building Permit shall be in substantial compliance with the plans prepared by Alameda County General Services Agency (GSA), dated July 24, 2026, on file in the office of the Alameda County Planning Department.
5. The Certificate of Appropriateness shall not become effective until such date as the County approves the building permit for the subject application, and upon such time, the construction of the plans shall be subject to all conditions of approval imposed by Alameda County. Any substantial changes to the approved project shall require review and approval by the Planning Director.
6. A copy of the Certificate of Appropriateness shall be attached to the final Building Permit plans.

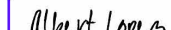
Notice:

The decision of the Planning Director shall be final unless appealed to the Board of Supervisors, in writing not more than ten (10) days following the date the action was taken by the director. The appeal may be taken by any property owner or other person aggrieved by the order within a said ten-day period, by filing with the clerk of the Board of Supervisors a notice of appeal that specifies the grounds for such appeal.

If you have any questions, please contact Dominic Lucchesi at dominic.lucchesi@acgov.org or at 510-670-6517.

Sincerely,

Signed by:



00044002202409...

Albert Lopez

Planning Director

Attachments:

- Attachment A – Parks, Recreation, and Historical Commission Resolution recommending Planning Director Approval of a Certificate of Appropriateness for Whitecotton Cottage
- Attachment B – Site Plan

Section 18950 et seq., as amended, and applied to the project by the building official.

3. The Certificate of Appropriateness associated with PLN2026-00092 shall terminate three (3) years from the date of issuance unless a building permit has been obtained and exercised for the project or, if no building permit is required for the work, the work has physically commenced.
4. The plans submitted for the Building Permit shall be in substantial compliance with the plans prepared by Alameda County General Services Agency (GSA), dated July 24, 2026, on file in the office of the Alameda County Planning Department.
5. The Certificate of Appropriateness shall not become effective until such date as the County approves the building permit for the subject application, and upon such time, the construction of the plans shall be subject to all conditions of approval imposed by Alameda County. Any substantial changes to the approved project shall require review and approval by the Planning Director.
6. A copy of the Certificate of Appropriateness shall be attached to the final Building Permit plans.

BE IT FURTHER RESOLVED that the project was determined to be categorically exempt from the requirements of the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15301- Existing Facilities, minor alterations to an existing structure, and Section 15331- Historical Rehabilitation consistent with the Secretary of the Interior's Standards for the Treatment of Historic Properties.

The FOREGOING was PASSED and ADOPTED by a majority vote of the Parks, Recreation, and Historical Commission of the County of Alameda this 6th day of August 2026 pursuant to the following vote:

AYES: Farley; Minard; Willis; Mendoza

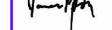
NOES:

EXCUSED:

ABSENT: Felix; Welschmeyer

ABSTAINED: Thomas

Signed by:



341000000200000000...

James Farley, Chair

Parks, Recreation, & Historical Commission

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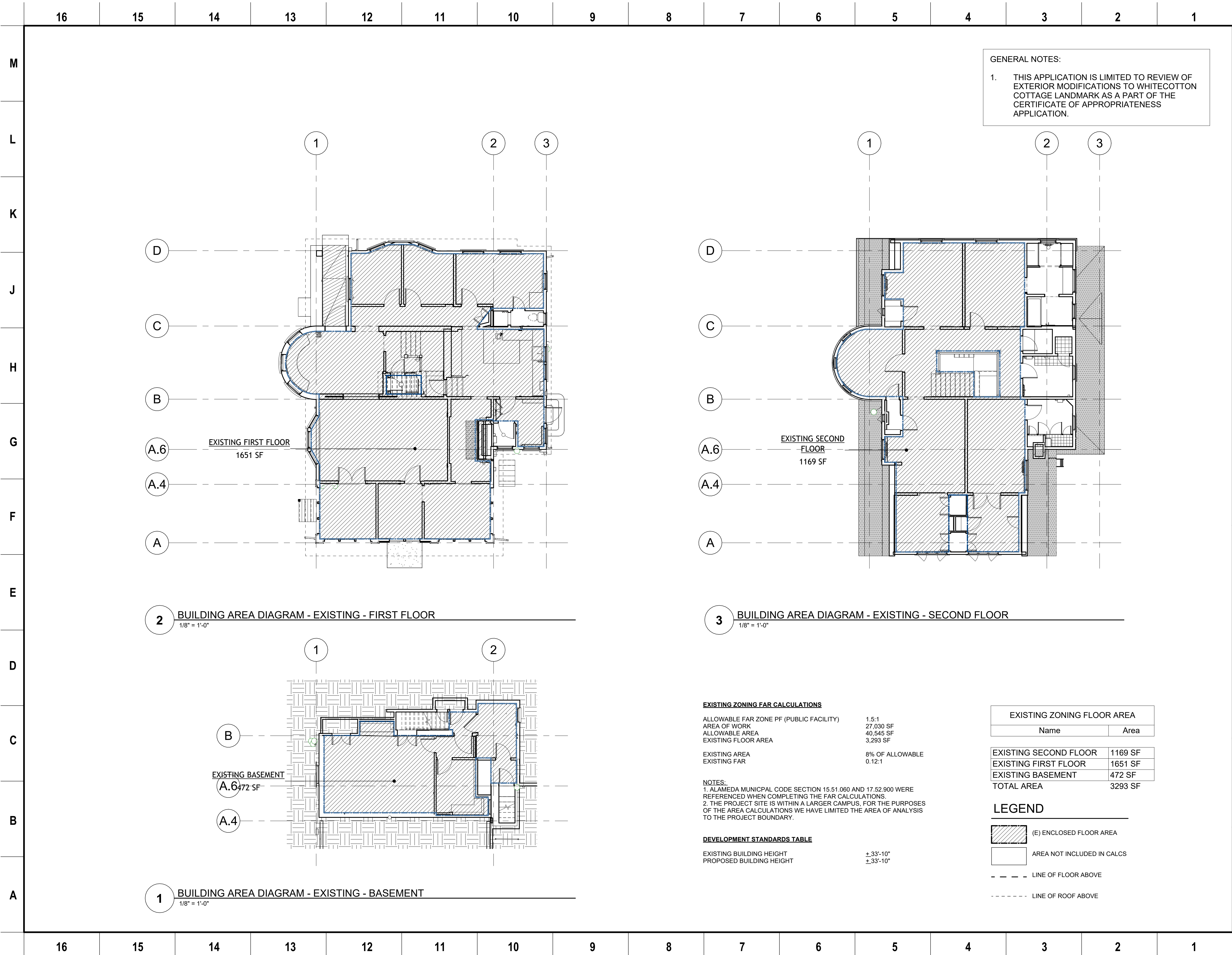
Revision Number	DATE	ISSUE DESCRIPTION
	09/03/2026	PERMIT SET

Project	
WHITECOTTON COTTAGE REHABILITATION	
15400 FOOTHILL BLVD SAN LEANDRO, CA 94578	

Architect of Record	Consultant
	PAGE & TURNBULL 170 MAIDEN LANE, 5TH FLOOR SAN FRANCISCO, CA

	Drawing Title COMPLIANCE DOCUMENTS
	Drawing No. G0.40

SKA Project Number: 25001



CLIENT



ALAMEDA COUNTY

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Revision Number	DATE	ISSUE DESCRIPTION
	09/03/2026	PERMIT SET

Project

WHITECOTTON COTTAGE REHABILITATION
15400 FOOTHILL BLVD
SAN LEANDRO, CA 94578

Architect of Record



Consultant

PAGE & TURNBULL
170 MAIDEN LANE, 5TH FLOOR
SAN FRANCISCO, CA

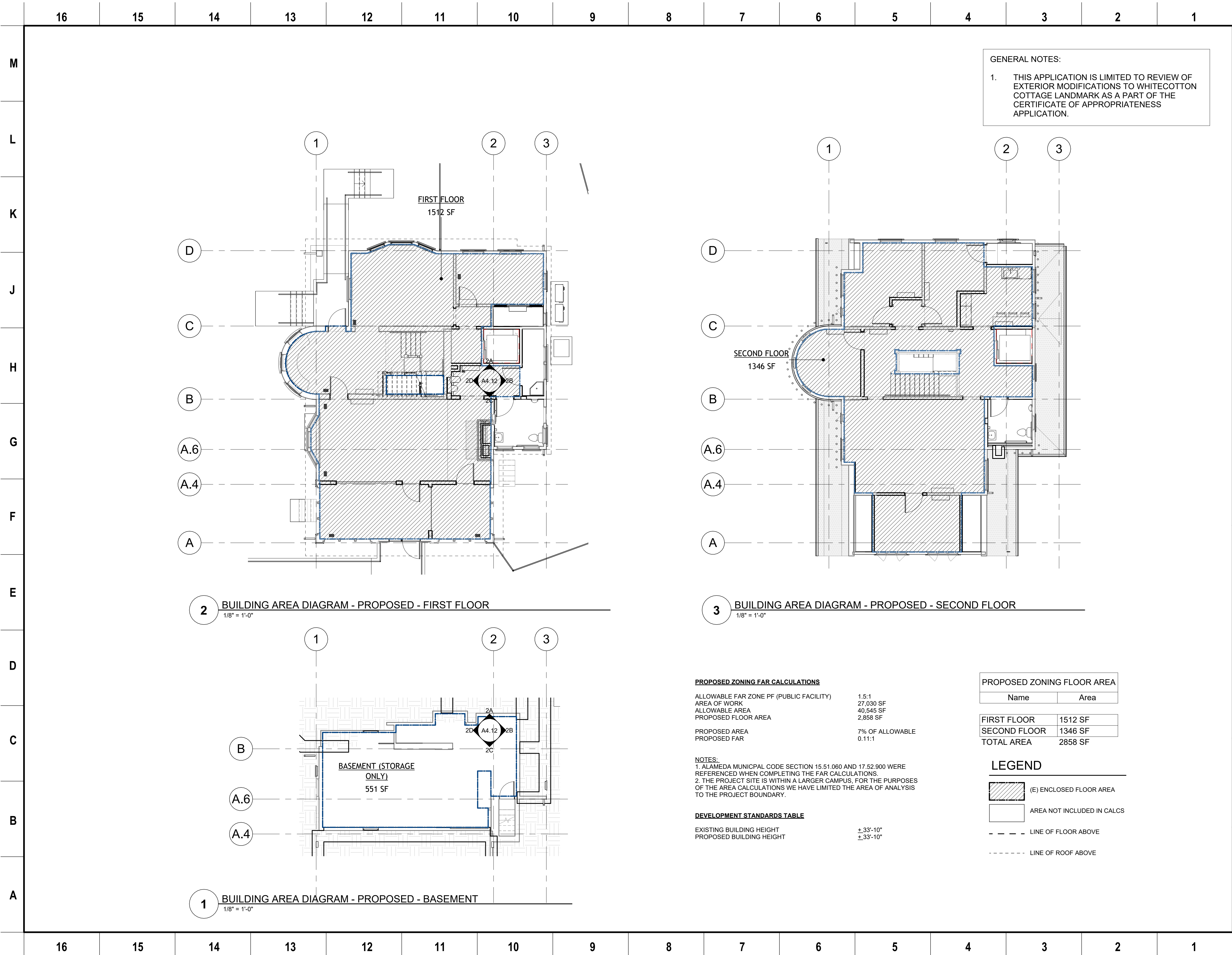
Drawing Title

EXISTING BUILDING AREA DIAGRAMS

Drawing No.

G1.11

SKA Project Number: 25001



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ALAMEDA COUNTY

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Revision Number	DATE	ISSUE DESCRIPTION
	09/03/2026	PERMIT SET

Project

WHITECOTTON COTTAGE REHABILITATION
15400 FOOTHILL BLVD
SAN LEANDRO, CA 94578

Architect of Record



Consultant

PAGE & TURNBULL
170 MAIDEN LANE, 5TH FLOOR
SAN FRANCISCO, CA



Drawing Title
PROPOSED BUILDING AREA DIAGRAMS

Drawing No.
G1.12

SKA Project Number: 25001

16

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EGRESS CODE REFERENCES

PER CBC SECTION 1005.3:

EGRESS COMPONENTS SHALL BE 0.3 IN. WIDE PER OCCUPANT FOR STAIRWAYS, AND 0.2 IN. WIDE PER OCCUPANT FOR OTHER EGRESS COMPONENTS

ALL CLEAR DOOR WIDTHS, EXISTING AND NEW, ARE NOTED IN THE DOOR SCHEDULE.

PER CBC SECTION 1007.1.1:

EXCEPTION: WHERE A BUILDING IS EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM, THE SEPARATION DISTANCE SHALL BE NOT LESS THAN ONE-THIRD OF THE LENGTH OF THE MAXIMUM OVERALL DIAGONAL DIMENSION OF THE AREA SERVED.

PER CBC SECTION 1016.2:

IN OTHER THAN GROUP H OCCUPANCIES, EGRESS FROM A ROOM OR SPACE IS ALLOWED TO PASS THROUGH ADJOINING OR INTERVENING ROOMS OR AREAS PROVIDED THAT SUCH ADJOINING ROOMS OR AREAS AND THE AREA SERVED ARE ACCESSORY TO ONE OR THE OTHER AND PROVIDE A DISCERNIBLE PATH OF EGRESS TRAVEL TO AN EXIT.

EXIT TRAVEL DISTANCE

COMMON PATH OF EGRESS TRAVEL
-MAXIMUM TRAVEL DISTANCE PERMITTED
-ACTUAL MAXIMUM TRAVEL DISTANCE

CBC TABLE 1006.2.1
100' - 0"
72' - 2" (SEE LINE LABELED "A")

TRAVEL DISTANCE TO EXIT
-MAXIMUM TRAVEL DISTANCE PERMITTED
-ACTUAL MAXIMUM TRAVEL DISTANCE

CBC TABLE 1017.2
300' - 0"
72' - 2" (SEE LINE LABELED "A")

TITLE 24 PART 9 CALIFORNIA FIRE CODE

SECTION 906 - PORTABLE FIRE EXTINGUISHERS

906.1 PORTABLE FIRE EXTINGUISHERS SHALL BE INSTALLED IN ALL NEW AND EXISTING B OCCUPANCIES

906.3 FOR OCCUPANCIES THAT INVOLVE PRIMARILY CLASS A FIRE HAZARDS, MINIMUM SIZES & DISTRIBUTION SHALL COMPLY WITH TABLE 906.3(I)

906.3(I) TABLE FOR ORDINARY HAZARD OCCUPANCY LISTS

A. MINIMUM RATED SINGLE EXTINGUISHER: 2-A
B. MAXIMUM FLOOR AREA PER UNIT OF A: 3000 SF
C. MAXIMUM FLOOR AREA FOR EXTINGUISHER: 11,250 SF
D. MAXIMUM TRAVEL DISTANCE TO EXTINGUISHER: 75 FT

EGRESS FROM STORIES OR OCCUPIABLE ROOFS (CBC 1006.3)

SINGLE EXITS (1006.3.4)

A SINGLE EXIT OR ACCESS TO A SINGLE EXIT SHALL BE PERMITTED FROM ANY STORY OR OCCUPIABLE ROOF WHERE ONE OF THE FOLLOWING CONDITIONS EXISTS:
1. THE OCCUPANT LOAD, NUMBER OF DWELLING UNITS AND EXIT ACCESS TRAVEL DISTANCE DO NOT EXCEED THE VALUES IN TABLE 1006.3.4(1) OR 1006.3.4(2).

SECOND FLOOR HAS (1) EXIT, AND COMPLIES WITH REQUIREMENTS OF TABLE 1006.3.4(2) OF MAXIMUM 49 OCCUPANTS TO THE LEVEL AND MAXIMUM TRAVEL DISTANCE OF 75'-0" TO EXIT

SYMBOLS

ROOM NAME

EGRESS ANALYSIS ROOM TAG

AREA
OCCUPANT LOAD FACTOR
OCCUPANCY TYPE
NUMBER OF OCCUPANTS

EGRESS ANALYSIS DOOR TAG

EGRESS ANALYSIS STAIR TAG

AREA BOUNDARY

FIRE EXTINGUISHER CABINET
SEMI-RECESSED

EXIT SIGN

OCCUPANT LOAD AT EXIT ACCESS POINT

COMBINED OCCUPANT LOAD AT
EXIT/EXIT ACCESS POINT

LANDING TYPE (a):
PULL SIDE MIN. DOOR LANDING AND CLR
FLOOR AREA WITH MAX. 2% SLOPE IN
ANY DIRECTION: 60" IN THE DIRECTION
OF TRAVEL X DOOR WIDTH PLUS 24" ON
THE LATCH SIDE

LANDING TYPE (b):
PULL SIDE MIN. DOOR LANDING AND CLR
FLOOR AREA WITH MAX. 2% SLOPE IN
ANY DIRECTION: 60" IN THE DIRECTION
OF TRAVEL X DOOR WIDTH PLUS 18" ON
THE LATCH SIDE

LANDING TYPE (c):
PUSH SIDE MIN. DOOR LANDING AND CLR
FLOOR AREA WITH MAX. 2% SLOPE IN
ANY DIRECTION: 48" IN THE DIRECTION
OF TRAVEL X DOOR WIDTH PLUS 12" ON
THE LATCH SIDE (with closer)

LANDING TYPE (d):
PUSH SIDE MIN. DOOR LANDING AND CLR
FLOOR AREA WITH MAX. 2% SLOPE IN
ANY DIRECTION: 48" IN THE DIRECTION
OF TRAVEL X DOOR WIDTH PLUS 12" ON
THE LATCH SIDE (without closer)

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ALAMEDA COUNTY

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Project

WHITECOTTON COTTAGE REHABILITATION

15400 FOOTHILL BLVD
SAN LEANDRO, CA 94578

Architect of Record



Consultant

PAGE & TURNBULL
170 MAIDEN LANE, 5TH FLOOR
SAN FRANCISCO, CA



Drawing Title

EGRESS PLANS - FIRST & SECOND FLOOR

Drawing No.

G2.12

SKA Project Number: 25001

16

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EGRESS PLAN- FIRST FLOOR

1/8" = 1'-0"

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EGRESS PLAN - SECOND FLOOR

1/8" = 1'-0"

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**A5.602
CALGreen VERIFICATION GUIDELINES
MANDATORY MEASURES CHECKLIST
2025 CALGreen Code**

Application: This checklist shall be used for nonresidential projects that meet one of the following: new construction, building additions of 1,000 square feet or greater, or building alterations with a permit valuation of \$200,000 or more pursuant to Section 301.3 AND do not trigger a Tier 1 or Tier 2 requirement.

Y = Yes (section has been selected and/or included)
N/A = Not Applicable (code section does not apply to the project—mainly used for additions and alterations)
O = Other (provide explanation)
[N] = New construction pursuant to Section 301.3
[A] = Additions and/or Alterations pursuant to Section 301.3

Chapter 5 Divisions

DIVISION 5.1 Planning and Design

Requirement	SECTION TITLE	CODE SECTION	Y	N/A	O	PLAN SHEET, SPEC, OR ATTACH REFERENCE
Mandatory	Deconstruction and reuse of existing structures. Scope with Exception	5.105.1		X		
Mandatory	Reuse of existing building & Verification of compliance with note	5.105.2 and 5.105.2.1	X			
Mandatory	Storm water pollution prevention for projects that disturb less than 1 acre of land	5.106.1 through 5.106.2	X			
Mandatory	Short-term bicycle parking [with exception]	5.106.4.1.1 through 5.106.4.1.2.3	X			
Mandatory	Long-term bicycle parking	5.106.4.1.2 through 5.106.4.1.2.3	X			
Mandatory	Electric vehicle (EV) charging [N] with Section 5.106.3.1, 5.106.5.3.2 and associated Table 5.106.5.3.1	5.106.5.3.1, 5.106.5.3.2, Table 5.106.5.3.1, 5.106.5.3.2.1, 5.106.5.3.2.2, 5.106.5.3.2.3, 5.106.5.3.3, 5.106.5.3.4, 5.106.5.3.5		X		

1

Requirement	SECTION TITLE	CODE SECTION	Y	N/A	O	PLAN SHEET, SPEC, OR ATTACH REFERENCE
	OR independently	OR				
	Power Allocation Method: Section 5.106.5.3.6 and associated Table 5.106.5.3.6	5.106.5.3.3, 5.106.5.3.4, 5.106.5.3.5, 5.106.5.3.6, Table 5.106.5.3.6		X		
	5.106.5.3.6, 5.106.5.3.6.1, 5.106.5.3.6.2, and 5.106.5.3.6.3	5.106.5.4		X		
Mandatory	Additions or Alterations to existing buildings or parking facilities [A] with Exceptions	5.106.5.4.1		X		
Mandatory	Existing buildings or parking areas without previously installed EV capable infrastructure [A]	5.106.5.4.2		X		
Mandatory	Existing buildings or parking areas with previously installed EV capable infrastructure [A]	5.106.5.5		X		
Mandatory	Electric vehicle (EV) charging: medium-duty and heavy-duty [N]	5.106.5.5.1		X		
Mandatory	Electric vehicle charging readiness requirements for warehouses, grocery stores and retail stores with planned off-street loading spaces [N]	5.106.5.5 and 5.106.5.5.1		X		
Mandatory	TABLE 5.106.5.5.1	5.106.5.5.1		X		
Mandatory	Light pollution reduction [N] (with exceptions, notes and table)	5.106.8 through 5.106.8.2		X		
Mandatory	Grading and paving (exception for additions and alterations not altering the drainage path)	5.106.10		X		

3

Requirement	SECTION TITLE	CODE SECTION	Y	N/A	O	PLAN SHEET, SPEC, OR ATTACH REFERENCE
Mandatory	Commissioning report [N]	5.410.2.6		X		
Mandatory	Testing and adjusting for new buildings < 10,000 sf or new systems that serve additions or alterations [A]	5.410.4		X		
Mandatory	System testing plan for renewable energy, landscape irrigation and water reuse [A]	5.410.4.2		X		
Mandatory	Procedures for testing and adjusting	5.410.4.3		X		
Mandatory	Procedures for HVAC balancing	5.410.4.3.1		X		
Mandatory	Reporting for testing and adjusting	5.410.4.4		X		
Mandatory	Operation and maintenance (O&M) manual	5.410.4.5		X		
Mandatory	Inspection and reports	5.410.4.5.1		X		

DIVISION 5.5 Environmental Quality

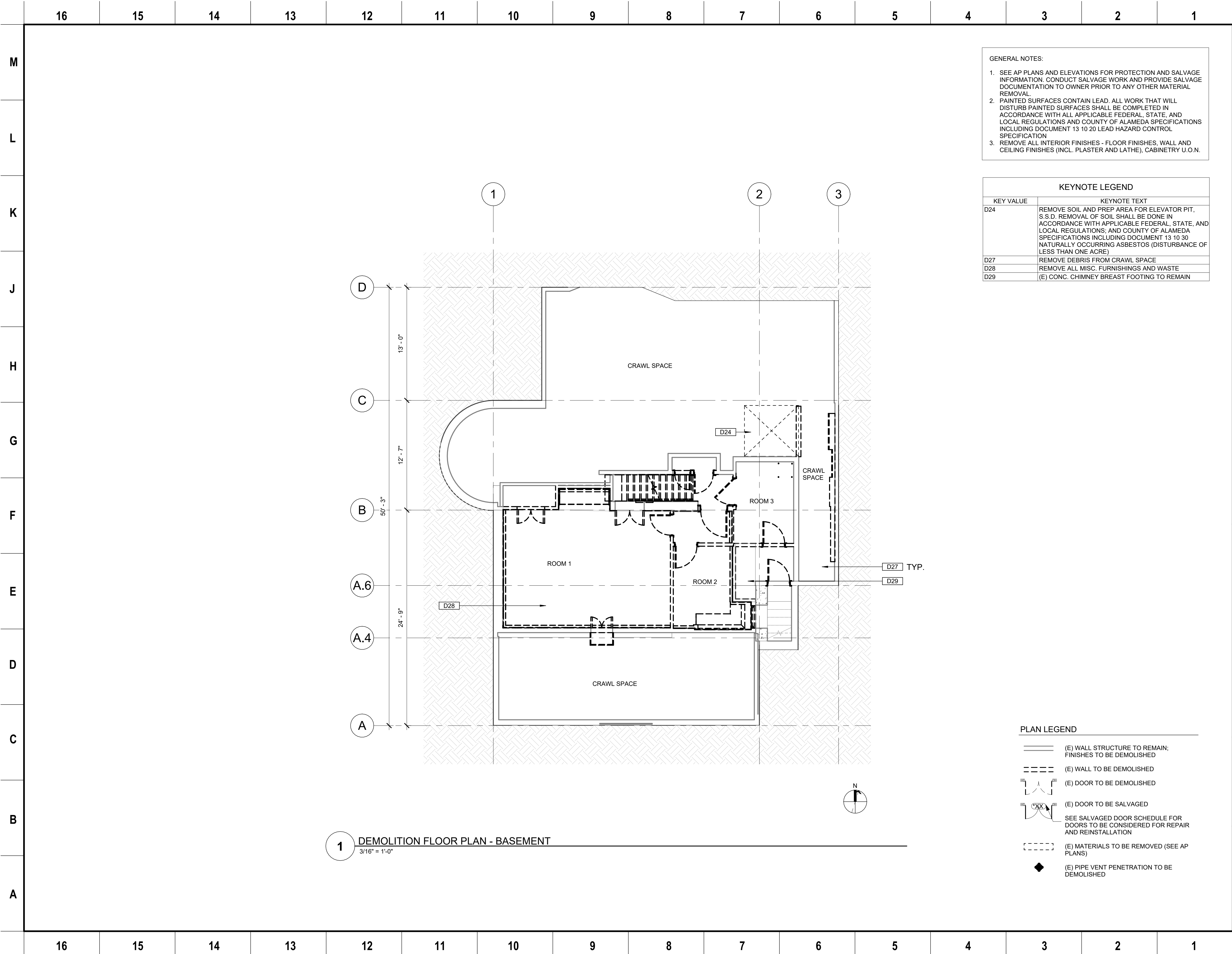
Requirement	SECTION TITLE	CODE SECTION	Y	N/A	O	PLAN SHEET, SPEC, OR ATTACH REFERENCE
Mandatory	Fireplaces	5.503.1		X		N.I.C.
Mandatory	Woodstoves	5.503.1.1		X		N.I.C.
Mandatory	Temporary ventilation	5.504.1		X		
Mandatory	Covering of ducts openings and protection of mechanical equipment during construction	5.504.3		X		
Mandatory	Adhesives, sealants, and caulks	5.504.4.1		X		
Mandatory	Paints and coatings	5.504.4.3		X		
Mandatory	Aerosol paints and coatings	5.504.4.3.1		X		

6

Requirement	SECTION TITLE	CODE SECTION	Y	N/A	O	PLAN SHEET, SPEC, OR ATTACH REFERENCE
Mandatory	Aerosol paints and coatings: verification	5.504.4.3.2		X		
Mandatory	Carpet systems	5.504.4.4		X		
Mandatory	Carpet cushion	5.504.4.4.1		X		
Mandatory	Carpet adhesives per Table 5.504.4.1	5.504.4.4.2		X		
Mandatory	Composite wood products	5.504.4.5		X		
Mandatory	Composite wood products: documentation	5.504.4.5.3		X		
Mandatory	Resilient flooring systems	5.504.4.6		X		
Mandatory	Resilient flooring: verification of compliance	5.504.4.6.1		X		
Mandatory	Thermal insulation	5.504.4.7		X		
Mandatory	Verification of compliance	5.504.4.7.1		X		
Mandatory	Acoustical ceilings and wall panels	5.504.4.8		X		
Mandatory	Verification of compliance	5.504.4.8.1		X		
Mandatory	Filters (with exceptions)	5.504.5		X		
Mandatory	Filters: labeling	5.504.5.1		X		
Mandatory	Environmental tobacco smoke (ETS) control	5.504.7		X		
Mandatory	Indoor moisture control	5.505.1		X		
Mandatory	Outside air delivery	5.506.1		X		
Mandatory	Carbon dioxide (CO ₂) monitoring	5.506.2		X		N.I.C.
Mandatory	Carbon dioxide (CO ₂) monitoring in classrooms	5.506.3		X		
Mandatory	Acoustical control (with exception)	5.507.4		X		
Mandatory	Exterior noise transmission, prescriptive method (with exceptions)	5.507.4.1		X		WALLS COMPLY

7

Requirement	SECTION TITLE	CODE SECTION	Y	N
-------------	---------------	--------------	---	---



- GENERAL NOTES:
1. SEE AP PLANS AND ELEVATIONS FOR PROTECTION AND SALVAGE INFORMATION. CONDUCT SALVAGE WORK AND PROVIDE SALVAGE DOCUMENTATION TO OWNER PRIOR TO ANY OTHER MATERIAL REMOVAL.
 2. PAINTED SURFACES CONTAIN LEAD. ALL WORK THAT WILL DISTURB PAINTED SURFACES SHALL BE COMPLETED IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL REGULATIONS AND COUNTY OF ALAMEDA SPECIFICATIONS INCLUDING DOCUMENT 13 10 20 LEAD HAZARD CONTROL SPECIFICATION
 3. REMOVE ALL INTERIOR FINISHES - FLOOR FINISHES, WALL AND CEILING FINISHES (INCL. PLASTER AND LATHE), CABINETRY U.O.N.

KEYNOTE LEGEND	
KEY VALUE	KEYNOTE TEXT
D24	REMOVE SOIL AND PREP AREA FOR ELEVATOR PIT, S.S.D. REMOVAL OF SOIL SHALL BE DONE IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE, AND LOCAL REGULATIONS; AND COUNTY OF ALAMEDA SPECIFICATIONS INCLUDING DOCUMENT 13 10 30 NATURALLY OCCURRING ASBESTOS (DISTURBANCE OF LESS THAN ONE ACRE)
D27	REMOVE DEBRIS FROM CRAWL SPACE
D28	REMOVE ALL MISC. FURNISHINGS AND WASTE
D29	(E) CONC. CHIMNEY BREAST FOOTING TO REMAIN

CLIENT



ALAMEDA COUNTY

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Project

WHITECOTTON COTTAGE REHABILITATION
15400 FOOTHILL BLVD
SAN LEANDRO, CA 94578

Architect of Record	Consultant
	PAGE & TURNBULL 170 MAIDEN LANE, 5TH FLOOR SAN FRANCISCO, CA

	Drawing Title BASEMENT DEMOLITION PLAN
	Drawing No. AD2.01

SKA Project Number: 25001

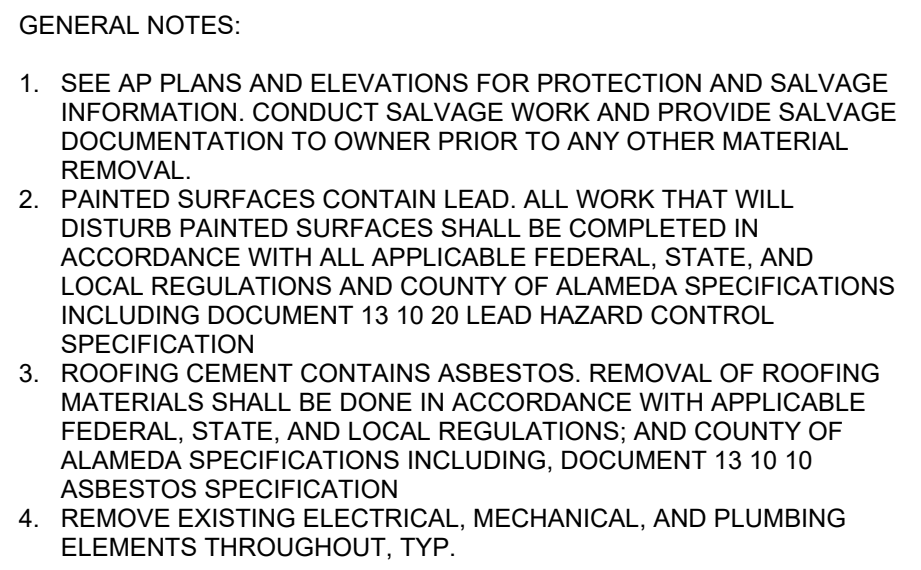


- | | |
|---|---|
|  | (E) WALL STRUCTURE TO REMAIN;
FINISHES TO BE DEMOLISHED |
|  | (E) WALL TO BE DEMOLISHED |
|  | (E) DOOR TO BE DEMOLISHED |
|  | (E) DOOR TO BE SALVAGED |
| | SEE SALVAGED DOOR SCHEDULE FOR
DOORS TO BE CONSIDERED FOR REPAIR
AND REINSTALLATION |
|  | (E) MATERIALS TO BE REMOVED (SEE AP
PLANS) |
|  | (E) PIPE VENT PENETRATION TO BE
DEMOLISHED |

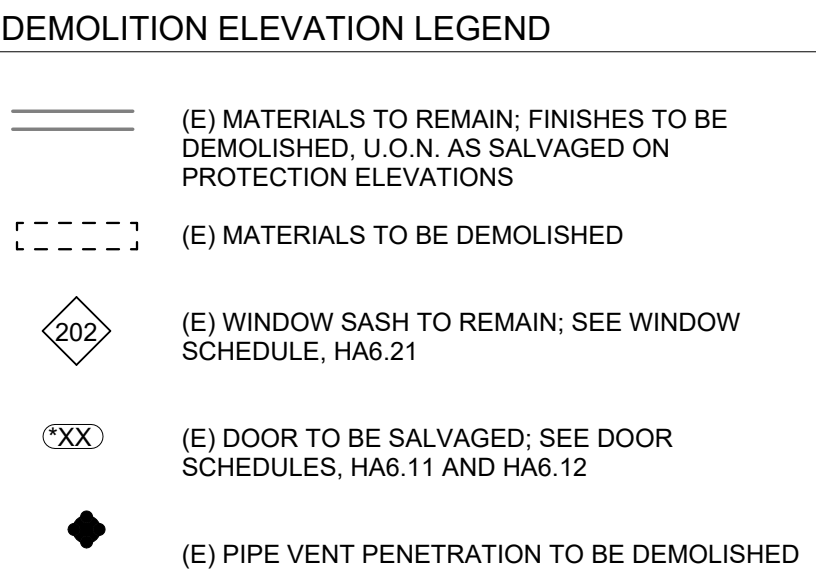
SKA Project Number: 25001



SKA Project Number: 25001	
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KEYNOTE LEGEND	
KEY VALUE	KEYNOTE TEXT
D01	DEMOLISH (E) CHAIN LINK FENCE SYSTEM AND GATES, TYP., S.C.D. FOR EXTENTS
D02	DEMOLISH (E) CONCRETE STEPS.
D04	DEMOLISH (E) WOOD RAMP AND HANDRAIL
D07	DEMOLISH (E) ROOF VENT
D08	DEMOLISH (E) LADDERS, TYP.
D11	DEMOLISH (E) TARPS AND TARP FASTENERS, ASPHALT SHINGLES, UNDERLAYMENT, ROOF SHEATHING, GUTTERS, DOWNSPOUTS, AND FLASHING. (E) ROOF FRAMING TO REMAIN, PROTECT IN PLACE, TYP.
D17	DEMOLISH (E) GUTTERS, DOWNSPOUTS, AND DRAIN PIPING, TYP.
D20	DEMOLISH (E) DOOR
D21	REMOVE (E) PAINTED WOOD SHINGLE SIDING AND SHEATHING, (E) WALL FRAMING TO REMAIN
D22	DEMOLISH (E) CRAWL SPACE VENTS, TYP.
D23	DEMOLISH (E) WOOD CLADDING AT UNDERSIDE OF EAVE. PROTECT (E) RAFTER TAILS IN PLACE, TYP.
D26	DEMOLISH (E) WINDOW PROTECTION, TYP.
D30	DEMOLISH (E) CEMENT PLASTER FINISH AT TURRET EXTERIOR FOR REPLACEMENT
D31	DEMOLISH CHIMNEY FOR REPLACEMENT. SALVAGE BRICK FOR REPRESENTATION. SEE KN S16.
D32	DEMOLISH EXT. WOOD PROFILES AND DENTIL TRIM FOR REPLACEMENT IN KIND. SALVAGE A MINIMUM OF THREE REPRESENTATIVE SAMPLES OF EACH UNIQUE TRIM TYPE FOR REPRODUCTION, MIN 36" LENGTH. DOCUMENT THE ORIGINAL LOCATION AND ORIENTATION OF EACH SALVAGED PIECE. TYP.
D33	DEMOLISH EXT. WOOD WINDOW, DOOR, AND LOUVER TRIM, INCLUDING CASING AND SILL, FOR REPLACEMENT IN KIND. SALVAGE A MINIMUM OF THREE REPRESENTATIVE SAMPLES OF EACH UNIQUE TRIM TYPE FOR REPRODUCTION, MIN 36" LENGTH. DOCUMENT THE ORIGINAL LOCATION AND ORIENTATION OF EACH SALVAGED PIECE. TYP.
D3	SALVAGE & REINSTALL (E) WOOD WINDOW SASH, TYP. U.O.N.
D5	SALVAGE & REINSTALL (E) EXT. DOOR, SEE DOOR SCHEDULE.
S11	SALVAGE 4 SQ FT OF (E) REPRESENTATIVE BRICK AT MASONRY PORCH AND STEPS FOR COLOR AND TEXTURE MATCHING
S13	SALVAGE & REINSTALL (E) WOOD LOUVER
S16	SALVAGE 4 SQ FT OF (E) REPRESENTATIVE BRICK AT CHIMNEY FOR COLOR AND TEXTURE MATCHING



ALAMEDA COUNTY

2 DEMOLITION - EXTERIOR ELEVATION - SOUTH
3/16" = 1'-0"

1 DEMOLITION - EXTERIOR ELEVATION - WEST
3/16" = 1'-0"

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[illegible]

Project

**WHITECOTTON
COTTAGE
REHABILITATION**
15400 FOOTHILL BLVD
SAN LEANDRO, CA 94578

Architect of Record



Consultant

PAGE & TURNBULL
170 MAIDEN LANE, 5TH FLOOR
SAN FRANCISCO, CA



Drawing Title

**DEMOLITION
ELEVATIONS - SOUTH
AND WEST**

Drawing No.

AD3.02

SKA Project Number: 25001

INTERIOR PROTECTION & SALVAGE ITEMS



S1/S2 - BASEBOARD & PICTURE RAIL



S6 - DECORATIVE COLUMNS



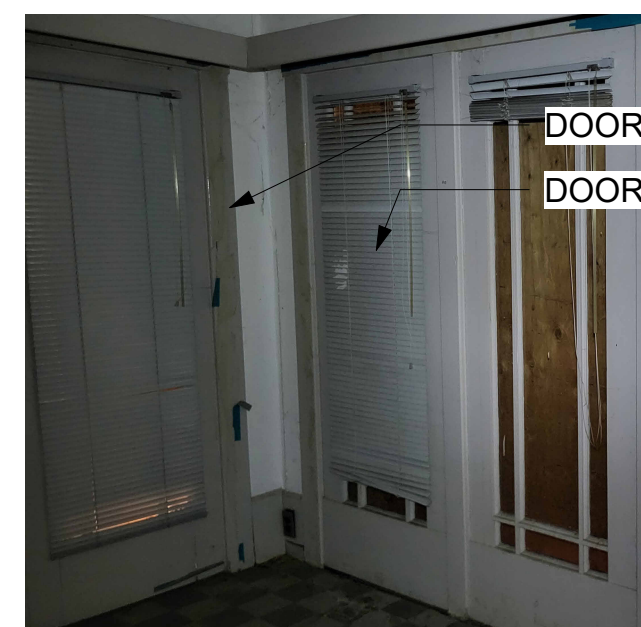
S3 - WINDOW



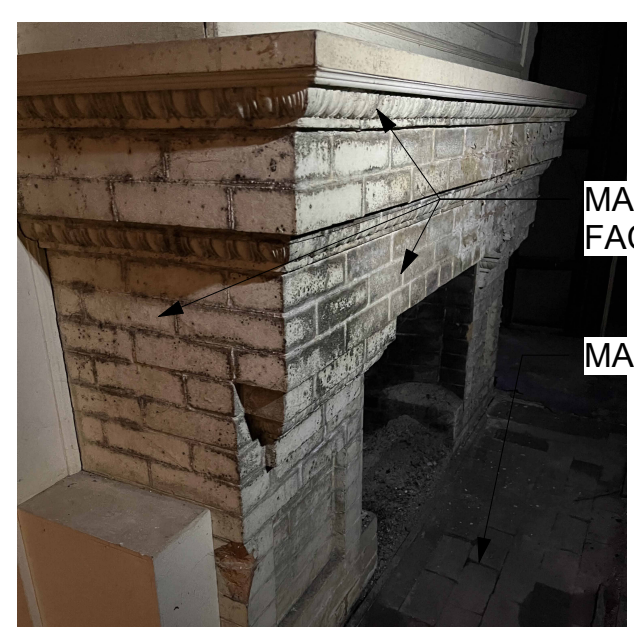
S7 - STAIR AND RAILING



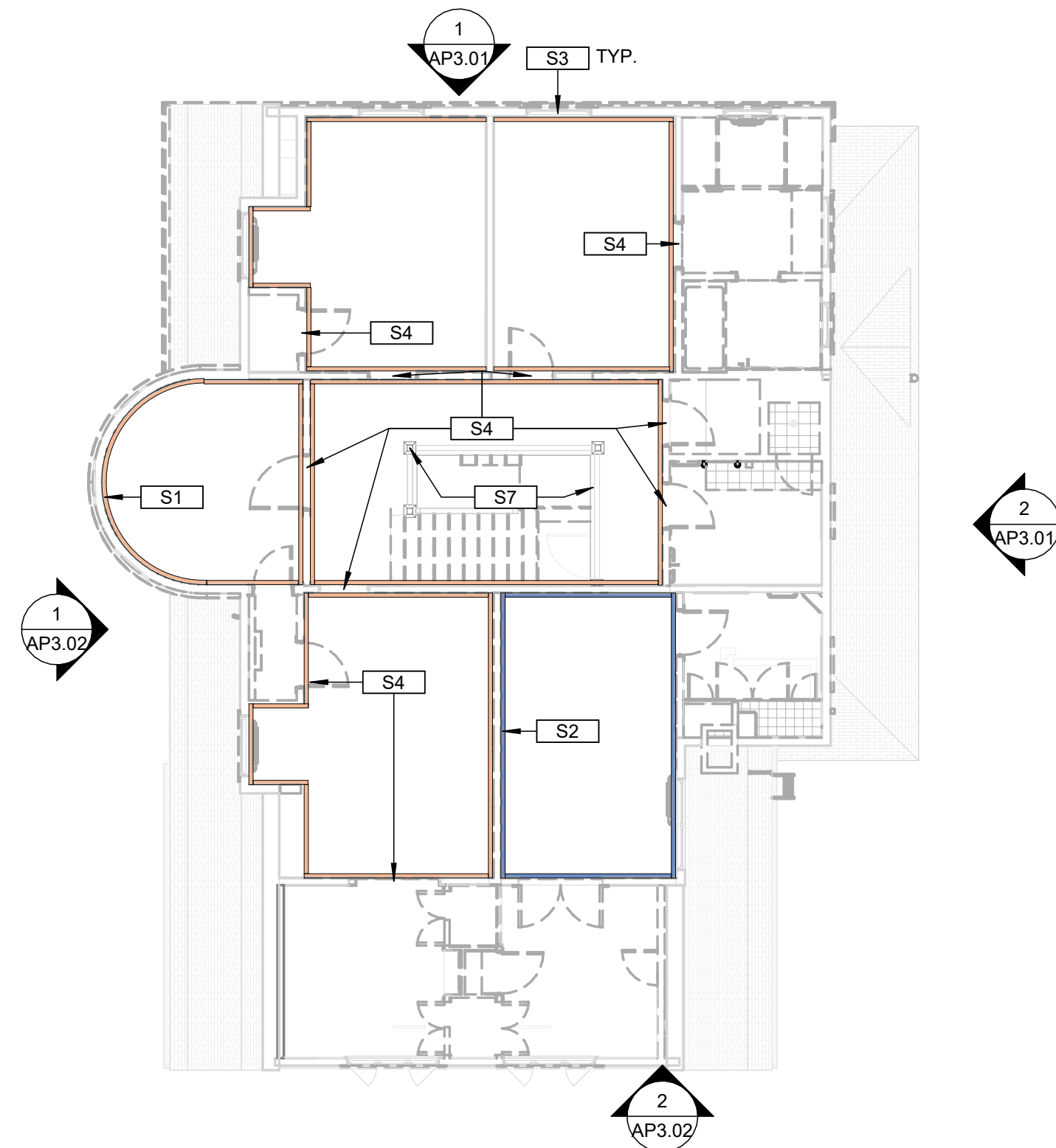
S4 - INTERIOR DOOR



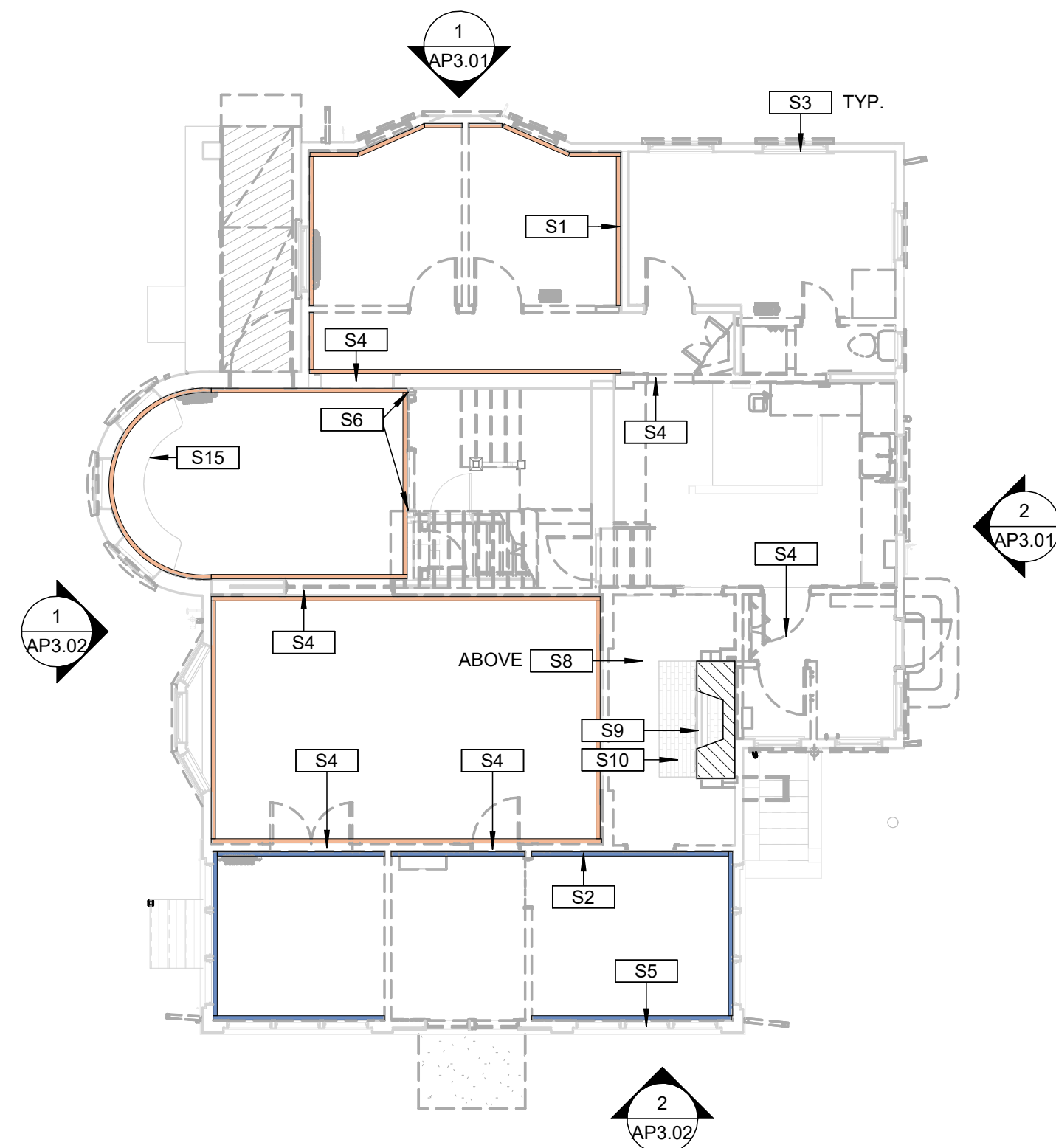
S5 - EXTERIOR DOOR



S9/S10 - FIREPLACE



2 SECOND FLOOR PROTECTION PLAN



1 FIRST FLOOR PROTECTION PLAN
1/8" = 1'-0"

GENERAL NOTES:

1. SEE AD SHEETS FOR DEMOLITION INFORMATION.
2. SEE G0.32 FOR TEMPORARY PROTECTION NOTES
3. REMOVE, SALVAGE, REPAIR & REINSTALL ALL (E) WOOD WINDOW SASH AND LOUVERS.
4. SEE PROTECTION & ELEVATION FOR EXT. ELEMENTS TO BE SALVAGED, REPAIRED & REINSTALLED
5. FOR ALL INTERIOR WOOD ITEMS NOTED TO BE SALVAGED & REINSTALLED, STORE ITEMS FOR REPAIR AND REINSTALLATION. PREP, ENCAPSULATE, AND PAINT. ASSUME ALL ITEMS HAVE BEEN PAINTED WITH LEAD PAINT.
6. FOR ALL EXTERIOR WOOD ITEMS NOTED TO BE SALVAGED & REINSTALLED, INCL. WINDOW AND EXT. DOOR SASH, STRIP EXISTING PAINT AND PREP FOR NEW PAINT. ASSUME ALL ITEMS HAVE BEEN PAINTED WITH LEAD PAINT.

KEYNOTE LEGEND

KEY VALUE	KEYNOTE TEXT
S1	SALVAGE & REINSTALL (E) WOOD BASEBOARD AND PICTURE RAIL
S2	SALVAGE & REINSTALL (E) WOOD BASEBOARD
S3	SALVAGE & REINSTALL (E) WOOD WINDOW SASH, TYP. U.O.N.
S4	SALVAGE & REINSTALL (E) INT. DOOR AND DOOR CASING
S5	SALVAGE & REINSTALL (E) EXT. DOOR, SEE DOOR SCHEDULE.
S6	RETAIN & PROTECT IN PLACE DECORATIVE WOOD POSTS. PREP, ENCAPSULATE, AND PAINT.
S7	SALVAGE & REINSTALL WOOD STAIR STRINGERS, TREADS, RISERS, NEWEL POSTS, HANDRAILS, AND SPINDLES.
S8	SALVAGE (E) DECORATIVE PLASTER BRACKET AT CEILING FOR REPLICATION
S9	RETAIN & PROTECT IN PLACE FACING & TRIM BRICK AT FIREPLACE. STRIP (E) PAINT.
S10	SALVAGE & REINSTALL MASONRY APRON AT FLOOR
S15	SALVAGE & REINSTALL (E) WOOD MILLWORK

PROTECTION PLAN LEGEND

- | | |
|---|---|
|  | SEE DEMOLITION PLANS |
|  | SEE DEMOLITION PLANS |
|  | SEE DEMOLITION PLANS FOR INFORMATION
ON SALVAGE OF (E) DOOR PANELS |
|  | S1 - SALVAGE (E) WALL BASEBOARD AND
PICTURE RAIL |
|  | S2 - SALVAGE (E) WALL BASEBOARD |



ALAMEDA COUNTY

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Revision Number	DATE	ISSUE DESCRIPTION
	09/03/2026	PERMIT SET

Project

WHITECOTTON COTTAGE REHABILITATION

15400 FOOTHILL BLVD
SAN LEANDRO, CA 94578

Architect of Record



Consultant

PAGE & TURNBULL
170 MAIDEN LANE, 5TH FLOOR
SAN FRANCISCO, CA



Drawing Title

PROTECTION PLANS

Drawing No.

AP2.01

SKA Project Number: 25001

16151413121110987654321

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EXTERIOR PROTECTION & SALVAGE ITEMS



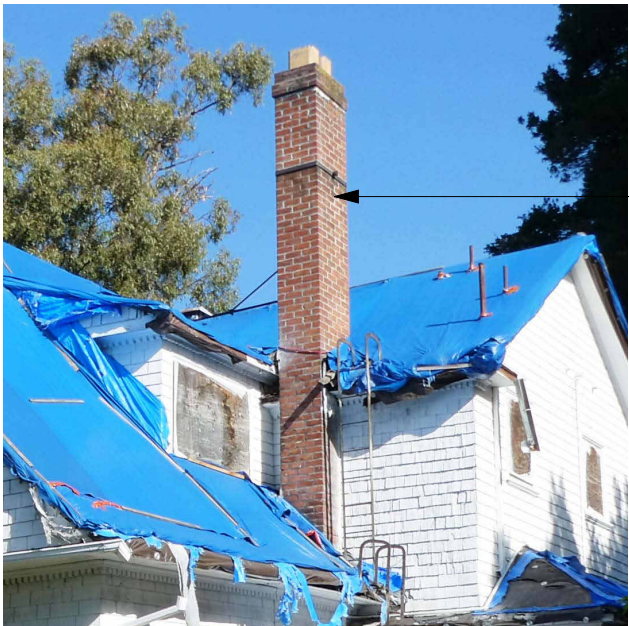
WOOD BRACKET

S14 - WOOD BRACKET



BRICK

S11 - BRICK MASONRY AT PORCH



BRICK

S16 - CHIMNEY BRICK MASONRY



DOOR TRIM
EXTERIOR DOORS
(BEHIND TEMPORARY PROTECTION)
STAIR

S5, S12, D33 - DOOR & STAIR



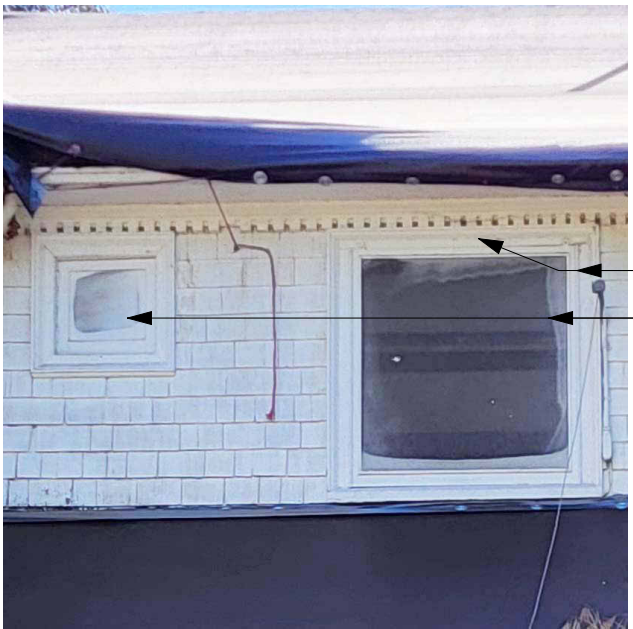
DENTIL TRIM
WOOD PROFILE
DENTIL TRIM

D32 - WOOD PROFILES & DENTILS



LOUVERS
LOUVER TRIM

S13, D33 - LOUVERS



WINDOW TRIM
WINDOW SASH
(BEHIND TEMPORARY PROTECTION)

S3, D33 - WINDOW SASH

GENERAL NOTES:

1. THIS APPLICATION IS LIMITED TO REVIEW OF EXTERIOR MODIFICATIONS TO WHITECOTTON COTTAGE LANDMARK AS A PART OF THE CERTIFICATE OF APPROPRIATENESS APPLICATION.

2. SEE AD SHEETS FOR DEMOLITION INFORMATION.

3. SEE G0.32 FOR TEMPORARY PROTECTION NOTES.

4. REMOVE, SALVAGE, REPAIR & REINSTALL ALL (E) WOOD WINDOW SASH AND LOUVERS.

5. FOR ALL EXTERIOR WOOD ITEMS NOTED TO BE SALVAGED & REINSTALLED, INCL. WINDOW AND EXT. DOOR SASH, STRIP EXISTING PAINT AND PREP FOR NEW PAINT. ASSUME ALL ITEMS HAVE BEEN PAINTED WITH LEAD PAINT.

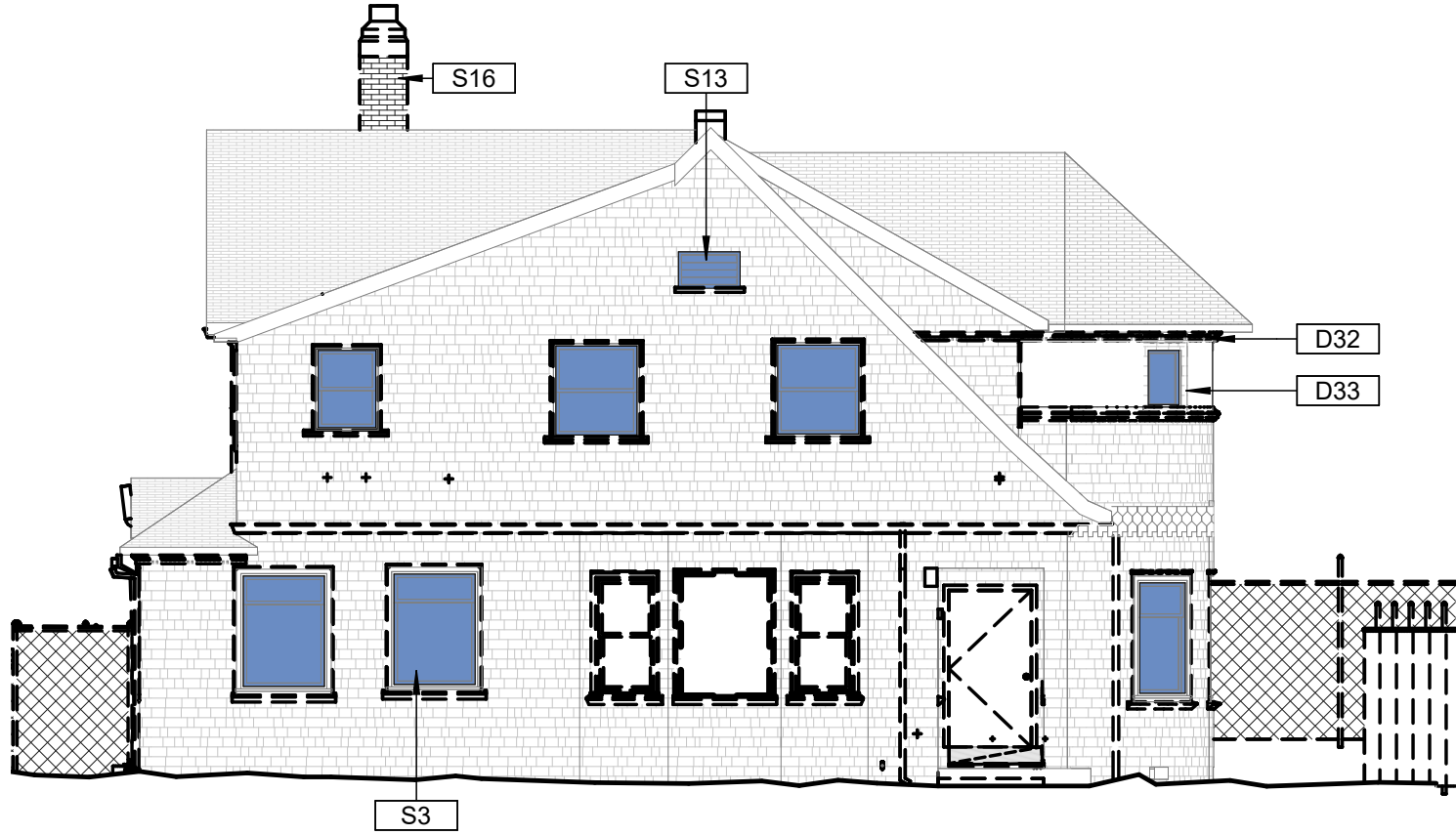
KEYNOTE LEGEND

KEY VALUE	KEYNOTE TEXT
D32	DEMOLISH EXT. WOOD PROFILES AND DENTIL TRIM FOR REPLACEMENT IN KIND. SALVAGE A MINIMUM OF THREE REPRESENTATIVE SAMPLES OF EACH UNIQUE TRIM TYPE FOR REPRODUCTION, MIN 36" LENGTH. DOCUMENT THE ORIGINAL LOCATION AND ORIENTATION OF EACH SALVAGED PIECE. TYP.
D33	DEMOLISH EXT. WOOD WINDOW, DOOR, AND LOUVER TRIM, INCLUDING CASING AND SILL, FOR REPLACEMENT IN KIND. SALVAGE A MINIMUM OF THREE REPRESENTATIVE SAMPLES OF EACH UNIQUE TRIM TYPE FOR REPRODUCTION, MIN 36" LENGTH. DOCUMENT THE ORIGINAL LOCATION AND ORIENTATION OF EACH SALVAGED PIECE. TYP.
S3	SALVAGE & REINSTALL (E) WOOD WINDOW SASH, TYP. U.O.N.
S5	SALVAGE & REINSTALL (E) EXT. DOOR, SEE DOOR SCHEDULE.
S13	SALVAGE & REINSTALL (E) WOOD LOUVER
S16	SALVAGE 4 SQ FT OF (E) REPRESENTATIVE BRICK AT CHIMNEY FOR COLOR AND TEXTURE MATCHING



S16
D32
D33
S5
S5
S13
S3

2 PROTECTION - EXTERIOR ELEVATION - EAST
1/8" = 1'-0"



S16
S13
D32
D33
S3

1 PROTECTION - EXTERIOR ELEVATION - NORTH
1/8" = 1'-0"

PROTECTION ELEVATION LEGEND

SEE DEMOLITION ELEVATIONS

SEE DEMOLITION ELEVATIONS

SEE DEMOLITION PLANS FOR INFORMATION ON SALVAGE OF (E) DOOR PANELS

S3, S5, S13 - SALVAGE (E) WINDOW SASH, LOUVER, OR DOOR

CLIENT



ALAMEDA COUNTY

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Project

WHITECOTTON COTTAGE REHABILITATION

15400 FOOTHILL BLVD
SAN LEANDRO, CA 94578

Architect of Record



Consultant

PAGE & TURNBULL
170 MAIDEN LANE, 5TH FLOOR
SAN FRANCISCO, CA

LICENSED ARCHITECT
STATE OF CALIFORNIA
C23518
EX-4/30/2027

Drawing Title

PROTECTION ELEVATIONS

Drawing No.

AP3.01

SKA Project Number: 25001

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EXTERIOR PROTECTION & SALVAGE ITEMS



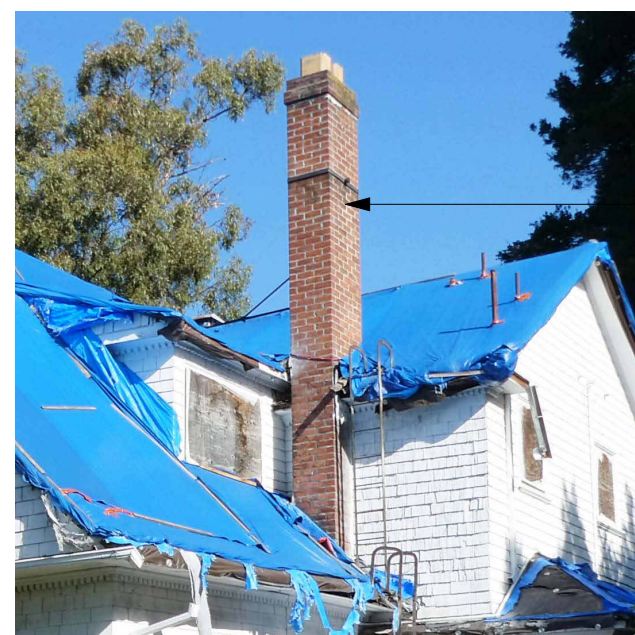
S14 - WOOD BRACKET



S11 - BRICK MASONRY AT PORCH



D32 - WOOD PROFILES & DENTILS



S16 - CHIMNEY BRICK MASONRY



S13, D33 - LOUVERS



S5, S12, D33 - DOOR & STAIR



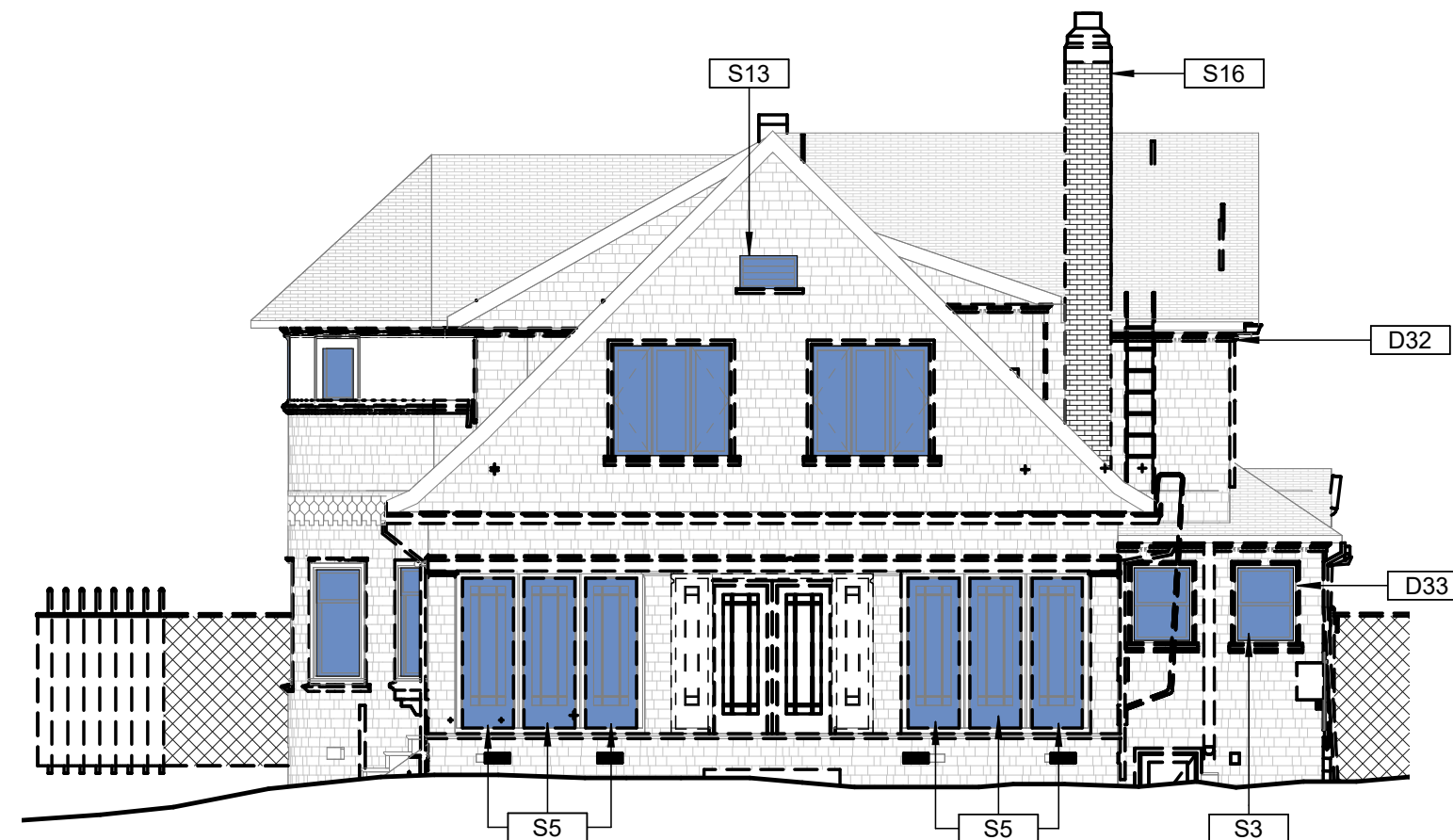
S3, D33 - WINDOW SASH

GENERAL NOTES:

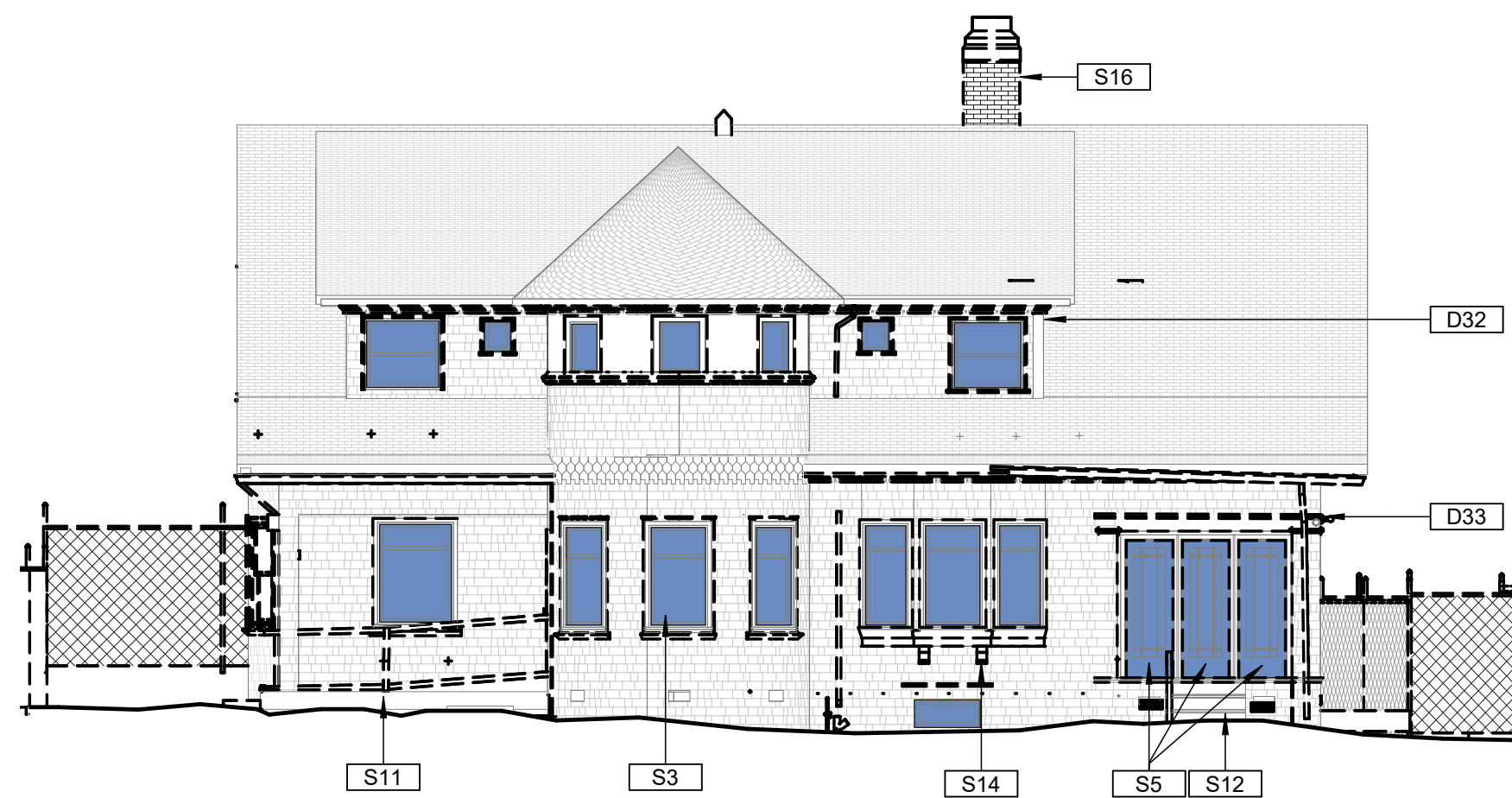
1. THIS APPLICATION IS LIMITED TO REVIEW OF EXTERIOR MODIFICATIONS TO WHITECOTTON COTTAGE LANDMARK AS A PART OF THE CERTIFICATE OF APPROPRIATENESS APPLICATION.
2. SEE AD SHEETS FOR DEMOLITION INFORMATION.
3. SEE G0.32 FOR TEMPORARY PROTECTION NOTES
4. REMOVE, SALVAGE, REPAIR & REINSTALL ALL (E) WOOD WINDOW SASH AND LOUVER
5. FOR ALL EXTERIOR WOOD ITEMS NOTED TO BE SALVAGED & REINSTALLED, INCL. WINDOW AND EXT. DOOR SASH, STRIP EXISTING PAINT AND PREP FOR NEW PAINT. ASSUME ALL ITEMS HAVE BEEN PAINTED WITH LEAD PAINT.

KEYNOTE LEGEND

KEY VALUE	KEYNOTE TEXT
D32	DEMOLISH EXT. WOOD PROFILES AND DENTIL TRIM FOR REPLACEMENT IN KIND. SALVAGE A MINIMUM OF THREE REPRESENTATIVE SAMPLES OF EACH UNIQUE TRIM TYPE FOR REPRODUCTION, MIN 36" LENGTH. DOCUMENT THE ORIGINAL LOCATION AND ORIENTATION OF EACH SALVAGED PIECE. TYP.
D33	DEMOLISH EXT. WOOD WINDOW, DOOR, AND LOUVER TRIM, INCLUDING CASING AND SILL, FOR REPLACEMENT IN KIND. SALVAGE A MINIMUM OF THREE REPRESENTATIVE SAMPLES OF EACH UNIQUE TRIM TYPE FOR REPRODUCTION, MIN 36" LENGTH. DOCUMENT THE ORIGINAL LOCATION AND ORIENTATION OF EACH SALVAGED PIECE. TYP.
S3	SALVAGE & REINSTALL (E) WOOD WINDOW SASH, TYP. U.O.N.
S5	SALVAGE & REINSTALL (E) EXT. DOOR, SEE DOOR SCHEDULE.
S11	SALVAGE 4 SQ FT OF (E) REPRESENTATIVE BRICK AT MASONRY PORCH AND STEPS FOR COLOR AND TEXTURE MATCHING
S12	SALVAGE & REINSTALL (E) WOOD STAIR
S13	SALVAGE & REINSTALL (E) WOOD LOUVER
S14	SALVAGE (E) WOOD BRACKET FOR REPLICATION
S16	SALVAGE 4 SQ FT OF (E) REPRESENTATIVE BRICK AT CHIMNEY FOR COLOR AND TEXTURE MATCHING



2 PROTECTION - EXTERIOR ELEVATION - SOUTH
1/8" = 1'-0"



1 PROTECTION - EXTERIOR ELEVATION - WEST
1/8" = 1'-0"

PROTECTION ELEVATION LEGEND

- | | |
|---|---|
|  | SEE DEMOLITION ELEVATIONS |
|  | SEE DEMOLITION ELEVATIONS |
|  | SEE DEMOLITION PLANS FOR INFORMATION
ON SALVAGE OF (E) DOOR PANELS |
|  | S3, S5, S13 - SALVAGE (E) WINDOW SASH,
LOUVER, OR DOOR |



ALAMEDA COUNTY

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Project

**WHITECOTTON
COTTAGE
REHABILITATION**
15400 FOOTHILL BLVD
SAN LEANDRO, CA 94578

Architect of Record



Consultant	
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PAGE & TURNBULL
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SAN FRANCISCO, CA



Drawing Title

**PROTECTION
ELEVATIONS**

Drawing No.

AP3.02

SKA Project Number: 25001